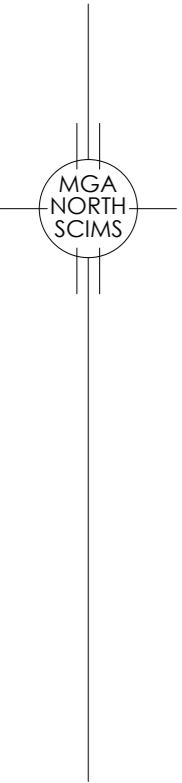



CURVED BOUNDARIES				
No	BEARING	DISTANCE	ARC	RADIUS
1	162°43'10"	13.99	14.085	35.3
3	169°06'25"	3.775	3.775	65.345
4	186°32'10"	35.53	35.985	65.345
5	205°49'15"	1.865	1.865	15.3
6	233°24'45"	24.74	25.485	30.3
7	252°42'50"	85.56	85.66	512
18	167°56'05"	29.595	29.595	2013.5
19	240°46'55"	3.525	3.525	588
20	264°40'30"	43.45	43.46	588
21	59°43'30"	1.7	1.7	52.5
22	54°58'10"	9.405	9.42	47.5
23	56°18'55"	12.845	12.88	52.5
24	67°51'35"	8.27	8.28	52.5
25	53°55'10"	30.08	30.605	47.5

SHORT BOUNDARIES		
No	BEARING	DISTANCE
2	167°23'45"	3.99
8	27°14'15"	30.445
9	40°55'10"	28.015
10	54°12'50"	29.75
11	69°20'30"	20.65
12	77°11'50"	16.67
13	77°11'50"	44.065
14	89°38'10"	4.34
15	97°09'50"	5.36
16	85°36'25"	4.425
17	75°28'35"	10.87



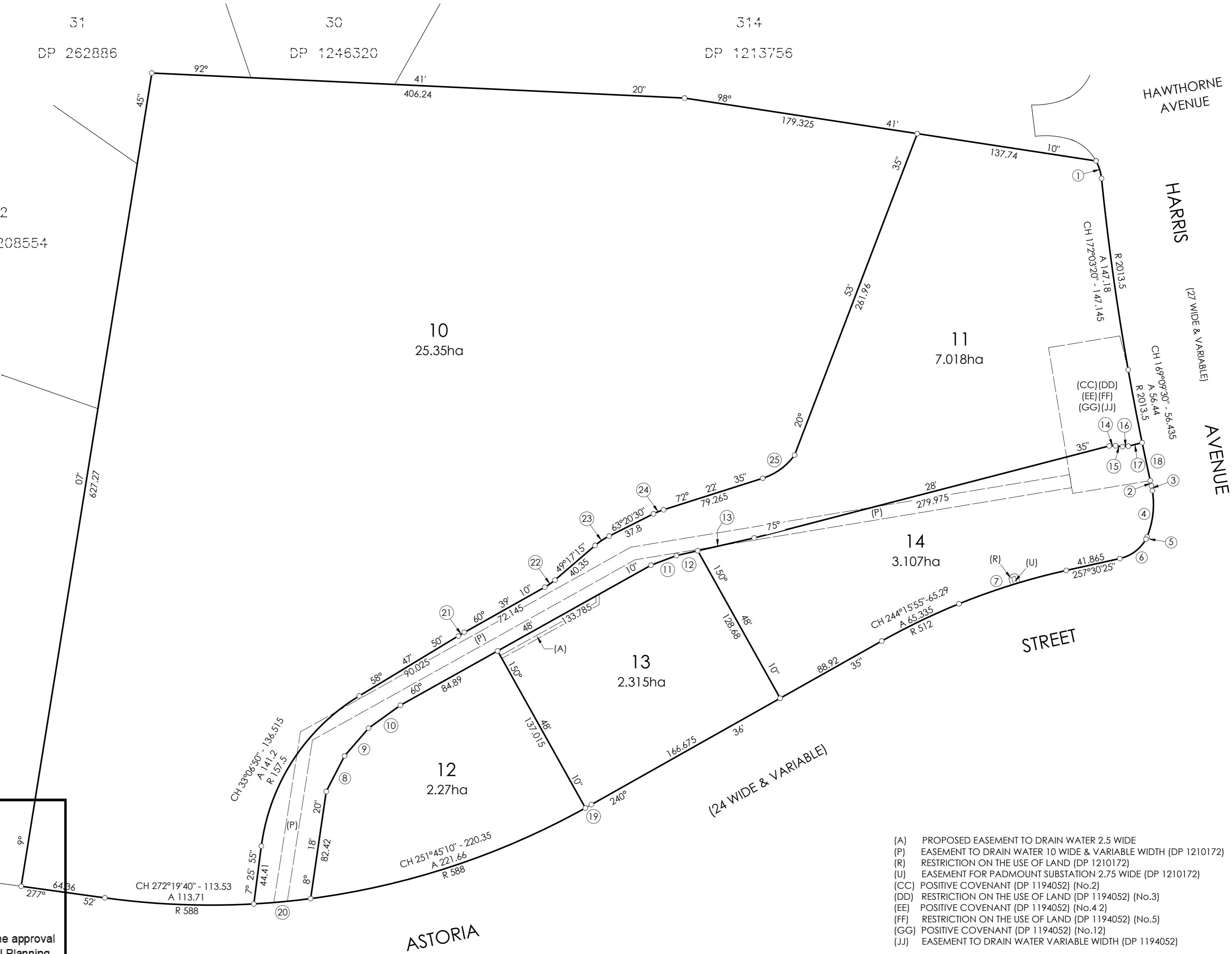


Blacktown
City Council

DEVELOPMENT CONSENT
DA-22-01698
Issued 23/06/2023

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Kerry Robinson, OAM
Chief Executive Officer



- (A) PROPOSED EASEMENT TO DRAIN WATER 2.5 WIDE
- (P) EASEMENT TO DRAIN WATER 10 WIDE & VARIABLE WIDTH (DP 1210172)
- (R) RESTRICTION ON THE USE OF LAND (DP 1210172)
- (U) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (DP 1210172)
- (CC) POSITIVE COVENANT (DP 1194052) (No.2)
- (DD) RESTRICTION ON THE USE OF LAND (DP 1194052) (No.3)
- (EE) POSITIVE COVENANT (DP 1194052) (No.4 2)
- (FF) RESTRICTION ON THE USE OF LAND (DP 1194052) (No.5)
- (GG) POSITIVE COVENANT (DP 1194052) (No.12)
- (JJ) EASEMENT TO DRAIN WATER VARIABLE WIDTH (DP 1194052)

Surveyor: Andrew Peter Ford	PLAN OF SUBDIVISION OF LOT 313 IN DP 1213756 & LOT 3008 IN UNREGISTERED DP 1272401 & LOT 4 IN UNREGISTERED DP 1271323	LGA: BLACKTOWN	Registered	DRAFT
Date of Survey: 20-10-2022		Locality: MARSDEN PARK		
Surveyors Ref: 33 444 - BOSCH		Subdivision No: Lengths are in metres. Reduction Ratio 1:2000		

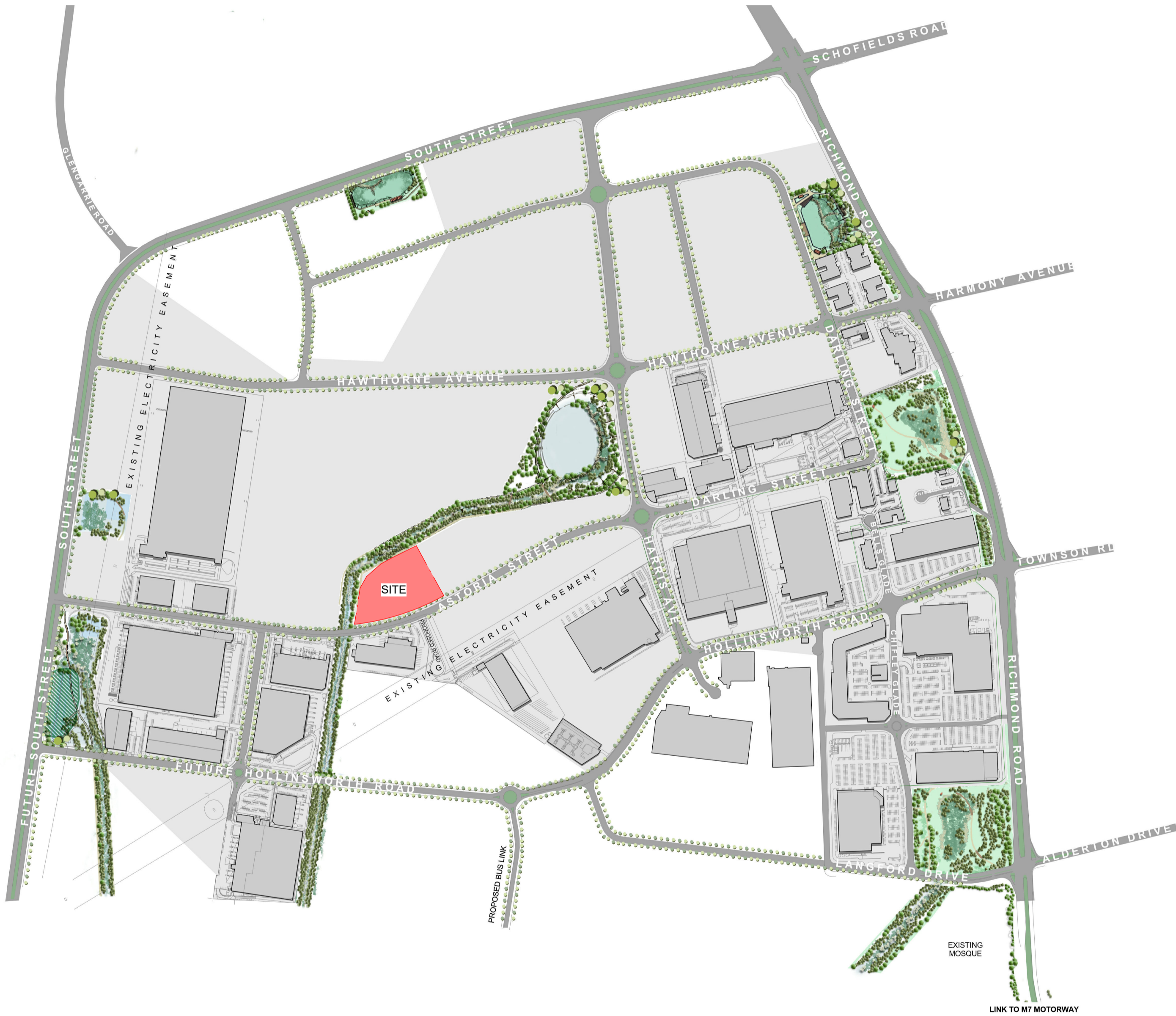
SYDNEY BUSINESS PARK - PROPOSED INDUSTRIAL BUILDING

MARSDEN PARK, NSW

ARCHITECTURAL DRAWING SCHEDULE

DRAWING NO.	DRAWING NAME	REVISION	ISSUE DATE
A001	COVER SHEET / DRAWING LIST	C	15.11.2022
A002	SITE ANALYSIS	C	15.11.2022
A003	SITE PLAN	G	15.11.2022
A004	SIGNAGE PLAN	C	15.11.2022
A005	PERSPECTIVES	A	15.11.2022
A101	WAREHOUSE PLAN	D	15.11.2022
A102	ROOF PLAN	C	15.11.2022
A103	OFFICE FLOOR PLANS	E	15.11.2022
A105	DOCK OFFICE PLAN	F	15.11.2022
A201	WAREHOUSE ELEVATIONS 01	C	15.11.2022
A203	OFFICE ELEVATIONS	C	15.11.2022
A204	DOCK OFFICE ELEVATIONS	C	15.11.2022
A301	WAREHOUSE SECTIONS	C	15.11.2022
A302	OFFICE SECTIONS	C	15.11.2022
A303	DOCK OFFICE SECTIONS	D	15.11.2022

CONTEXT PLAN



DEVELOPMENT APPLICATION



DEVELOPMENT CONSENT
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Michael Morony NSWARB No. 8218

Issue	Description	Date	By	QA
A	Draft Development Application	12.09.2022	SA	AM
B	Development Application	02.11.2022	SA	AM
C	Development Application	15.11.2022	SA	AM

REIDCAMPBELL
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Tel: 61 02 9954 5011 Email: sydney@reidcampbell.com
Fax: 61 02 9954 4946 Web: www.reidcampbell.com

DEVELOPMENT APPLICATION

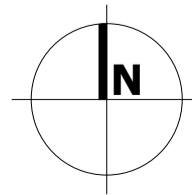
CLIENT



PROJECT MANAGER

PROJECT
SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING
MARSDEN PARK, NSW
Drawn Checked PRINT DATE
SA AM 16/11/2022 3:00:40 PM


NORTH POINT



Drawing Title
COVER SHEET / DRAWING LIST

SHEET NUMBER
1220028_ A001

ISSUE
C

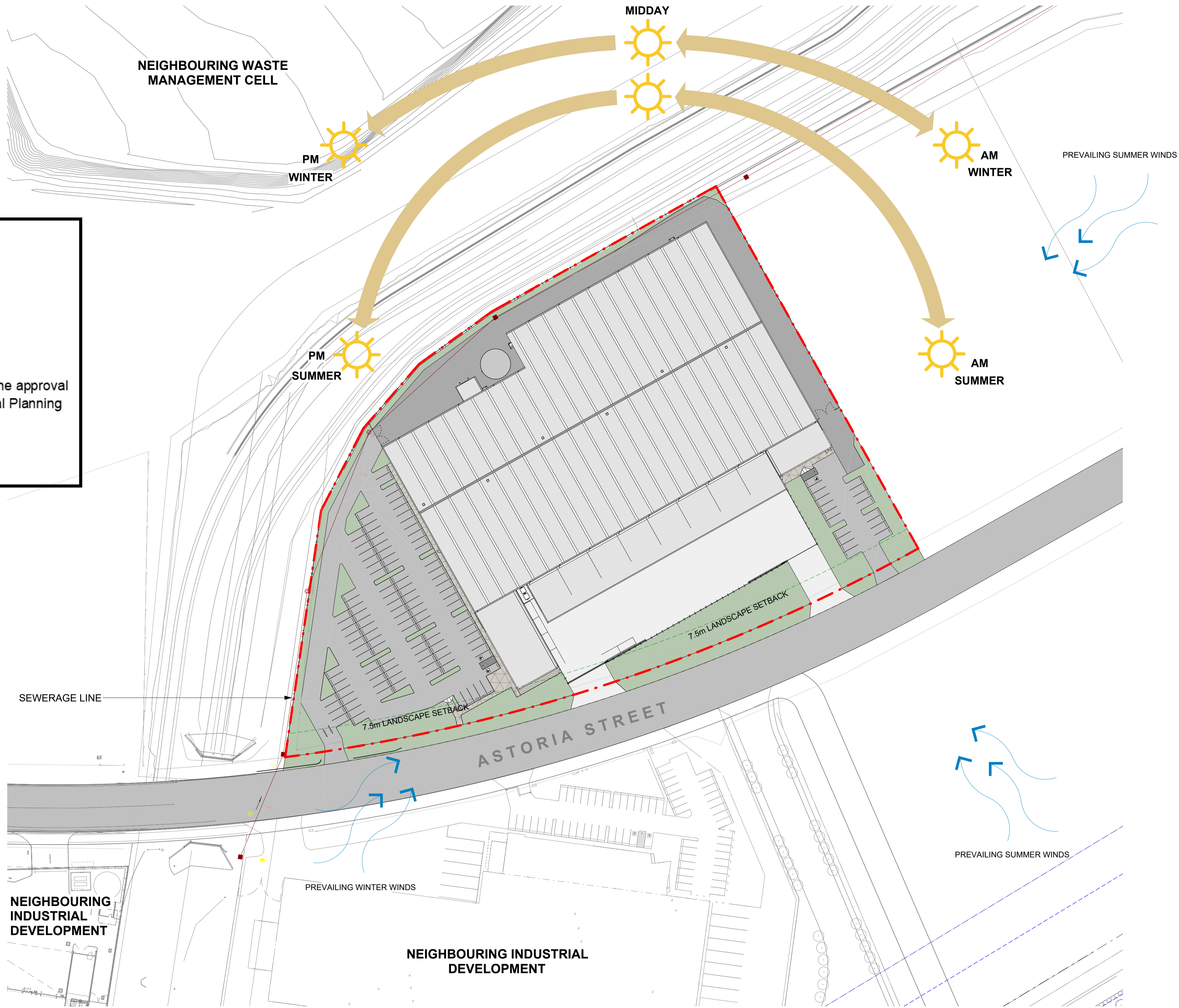


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City Council

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DA-22-01698
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LEGEND

- SITE BOUNDARY
- LANDSCAPE SETBACK
- SEWERAGE LINE
- LANDSCAPING
- SOLAR PATH
- PREVAILING WINDS

NOTES

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- TENANT FITOUT SHOWN IN BLUE

0m15m30m45m60m75m

SCALE BAR 1:750 @ A1 ; 1: 1500 @ A3

Drawing Title

SITE ANALYSIS

SHEET NUMBER

1220028_ A002

ISSUE

C

Notes	Issue	Description	Date	By	QA
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	B	Development Application	02.11.2022	SA	AM
	C	Development Application	15.11.2022	SA	AM
Michael Morony NSWARB No. 8218					

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Fax: 61 02 9954 4946 Web: www.reidcampbell.com

DEVELOPMENT APPLICATION

CLIENT



PROJECT MANAGER

PROJECT

**SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING**
MARSDEN PARK, NSW

Drawn

Checked

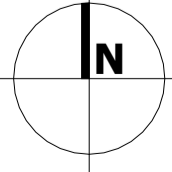
PRINT DATE

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AM

15/11/2022 5:47:33 PM

NORTH POINT



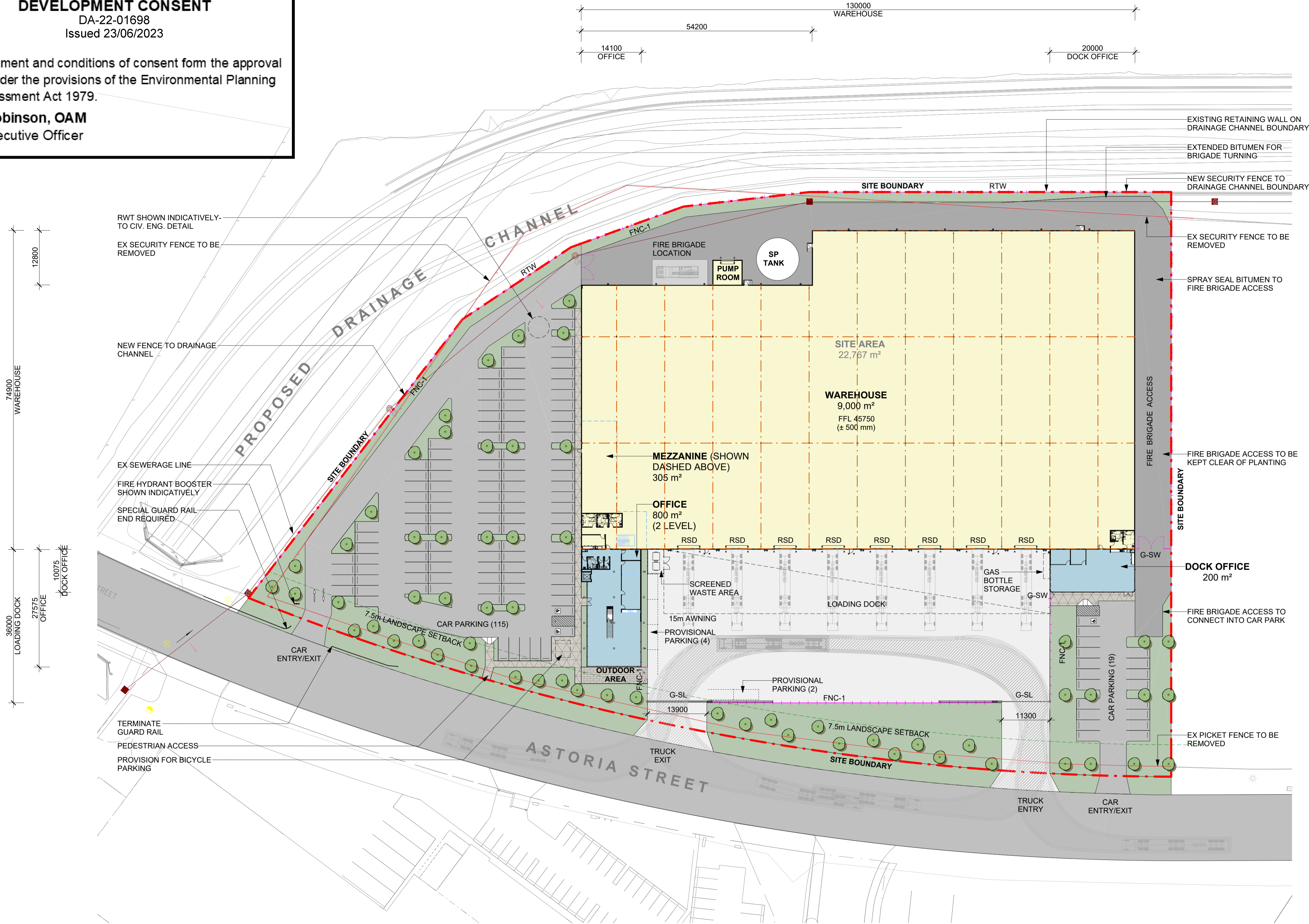


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DA-22-01698
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Chief Executive Officer



DEVELOPMENT TABLE

SITE AREA (APPROX.)	22,767m ²
BUILDING AREAS (GLA)	
WAREHOUSE	9,000 m ²
WAREHOUSE	800 m ²
OFFICE (2-LEVELS)	200 m ²
DOCK OFFICE	42 m ²
PUMP ROOM	
TOTAL BUILDING AREA	10,042 m ²
MEZZANINE (TENANT)	305 m ²
PARKING PROVIDED	140
PARKING REQUIRED	134

LEGEND

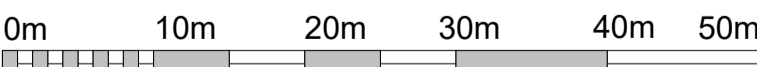
---	SITE BOUNDARY
---	LANDSCAPE SETBACK
---	EASEMENT
---	FNC-1: 2.1 M PALISADE FENCE
---	WAREHOUSE
---	OFFICE
---	HEAVY DUTY PAVEMENT
---	LIGHT DUTY PAVEMENT
---	PEDESTRIAN PAVEMENT
---	OUTDOOR AREA PAVEMENT
---	LANDSCAPING

ABBREVIATION

DP	DOWN PIPE
FE	FIRE EXIT DOOR
G-SL	GATE (SLIDING)
G-SW	GATE SINGLE (SWING)
G-SWD	GATE DOUBLE (SWING)
RSD	ROLLER SHUTTER DOOR
DL	DOCK LEVELER

NOTES

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- TENANT FITOUT SHOWN IN BLUE



SCALE BAR 1:500 @ A1 ; 1: 1000 @ A3

Drawing Title

SITE PLAN

SHEET NUMBER

1220028_ A003

ISSUE

G

Issue	Description	Date	By	QA
A	Draft Development Application	12.09.2022	SA	AM
B	Traffic Update	06.10.2022	SA	AM
C	For Coordination	11.10.2022	SA	AM
D	Development Application	02.11.2022	SA	AM
E	Traffic and Engineering Update	09.11.2022	SA	AM
F	Provisional Car Parking	14.11.2022	SA	AM
G	Development Application	15.11.2022	SA	AM

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DEVELOPMENT APPLICATION

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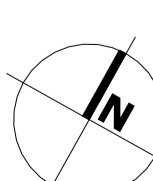


PROJECT MANAGER

PROJECT
SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING
MARSDEN PARK, NSW

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NORTH POINT



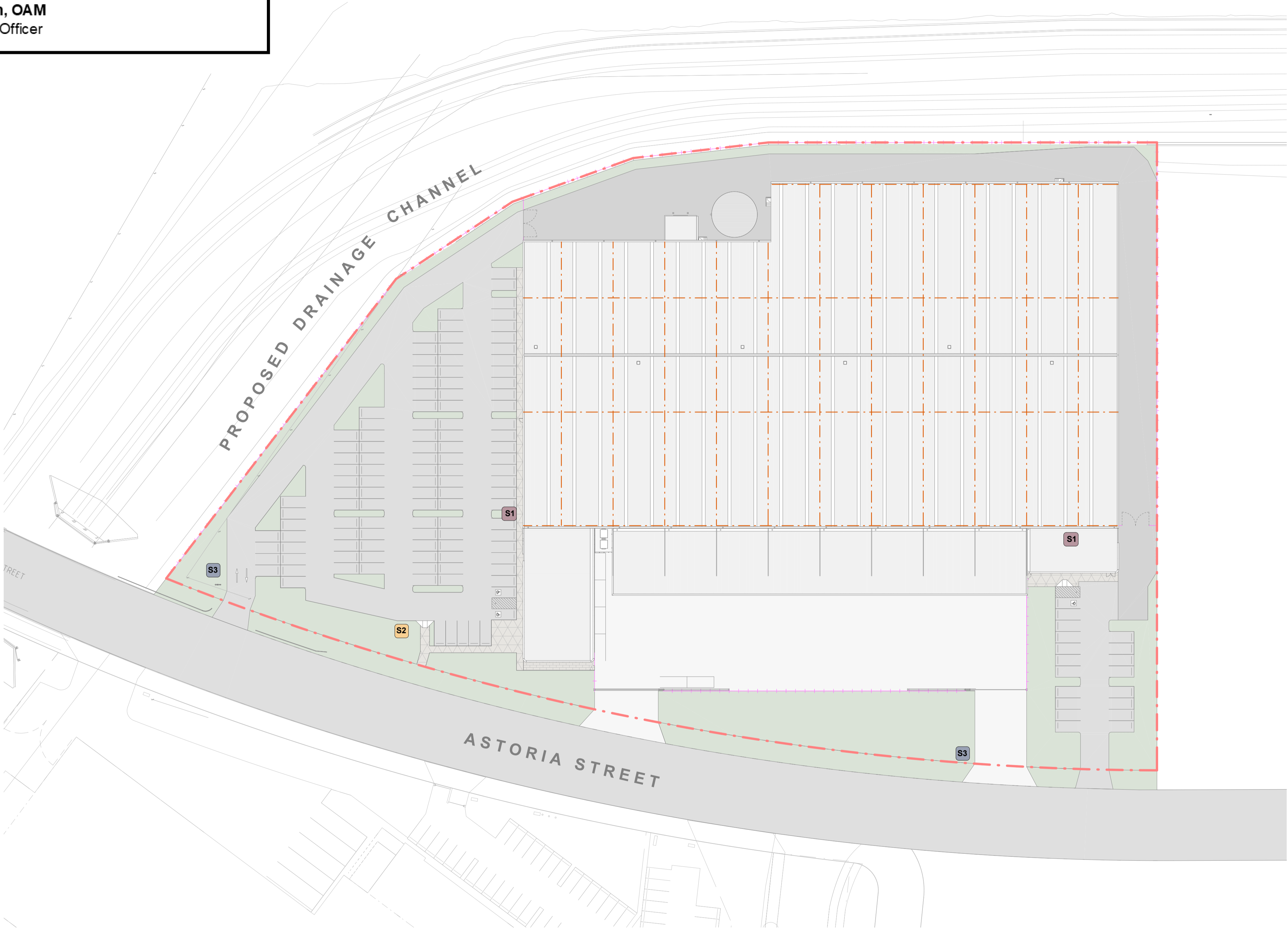


DEVELOPMENT CONSENT

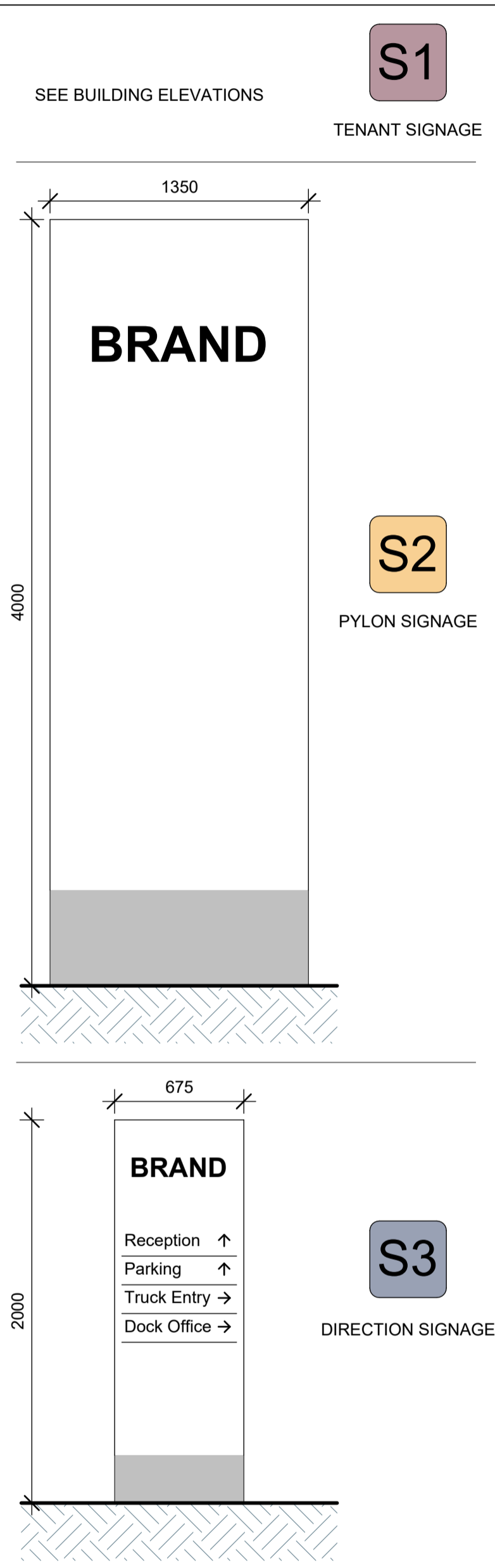
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TYPICAL SIGNAGE



NOTES

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6. TENANT FITOUT SHOWN IN BLUE



SCALE BAR 1:500 @ A1 ; 1: 1000 @ A3

Issue	Description	Date	By	QA
A	Draft Development Application	12.09.2022	SA	AM
B	Development Application	02.11.2022	SA	AM
C	Development Application	15.11.2022	SA	AM

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DEVELOPMENT APPLICATION



PROJECT MANAGER

PROJECT
SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING
MARSDEN PARK, NSW

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NORTH POINT



Drawing Title
SIGNAGE PLAN

SHEET NUMBER
1220028_A004

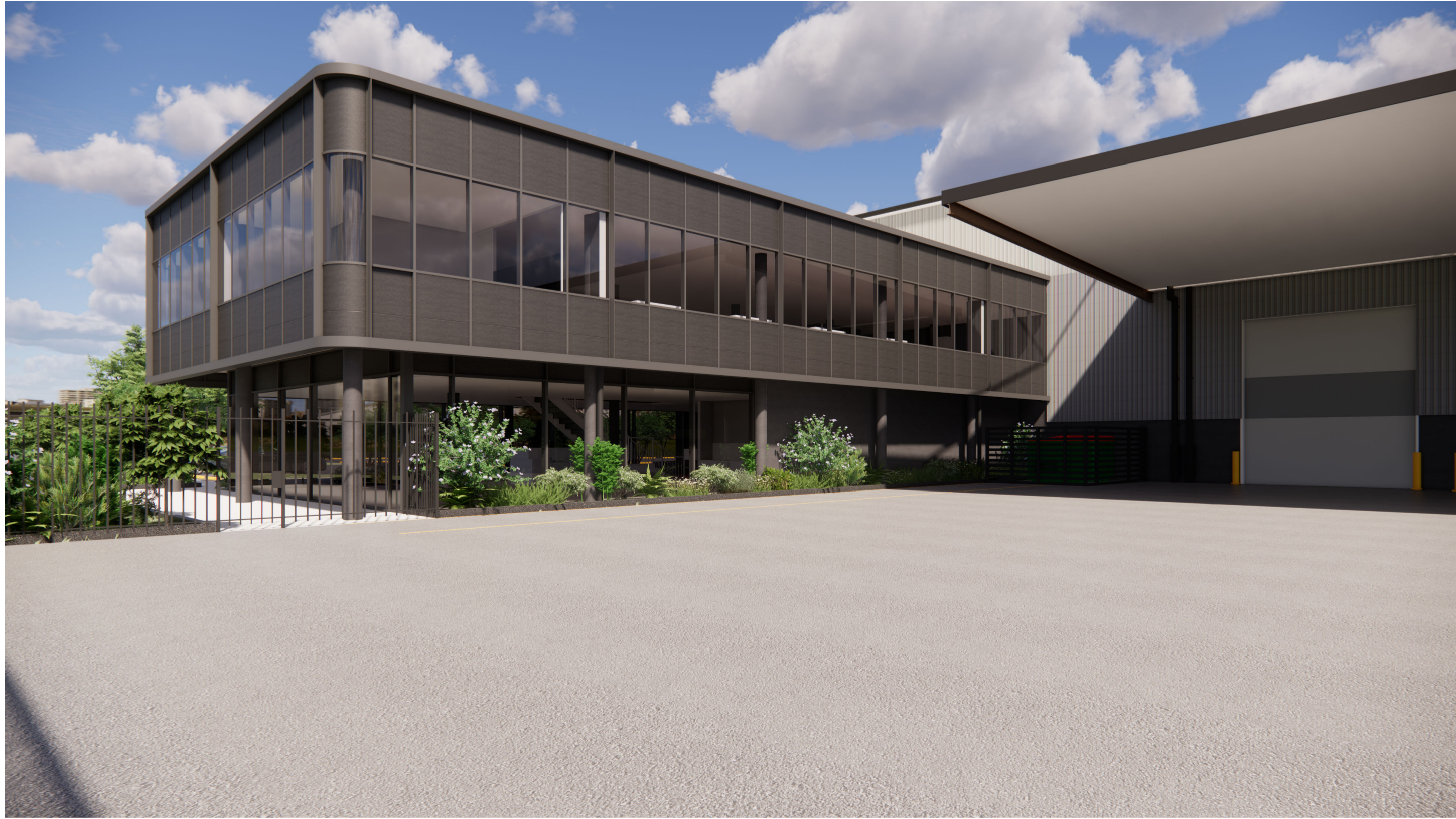
ISSUE
C




MAIN OFFICE - LOOKING NORTH-EAST



DOCK OFFICE - LOOKING NORTH-WEST



MAIN OFFICE - LOOKING NORTH-WEST



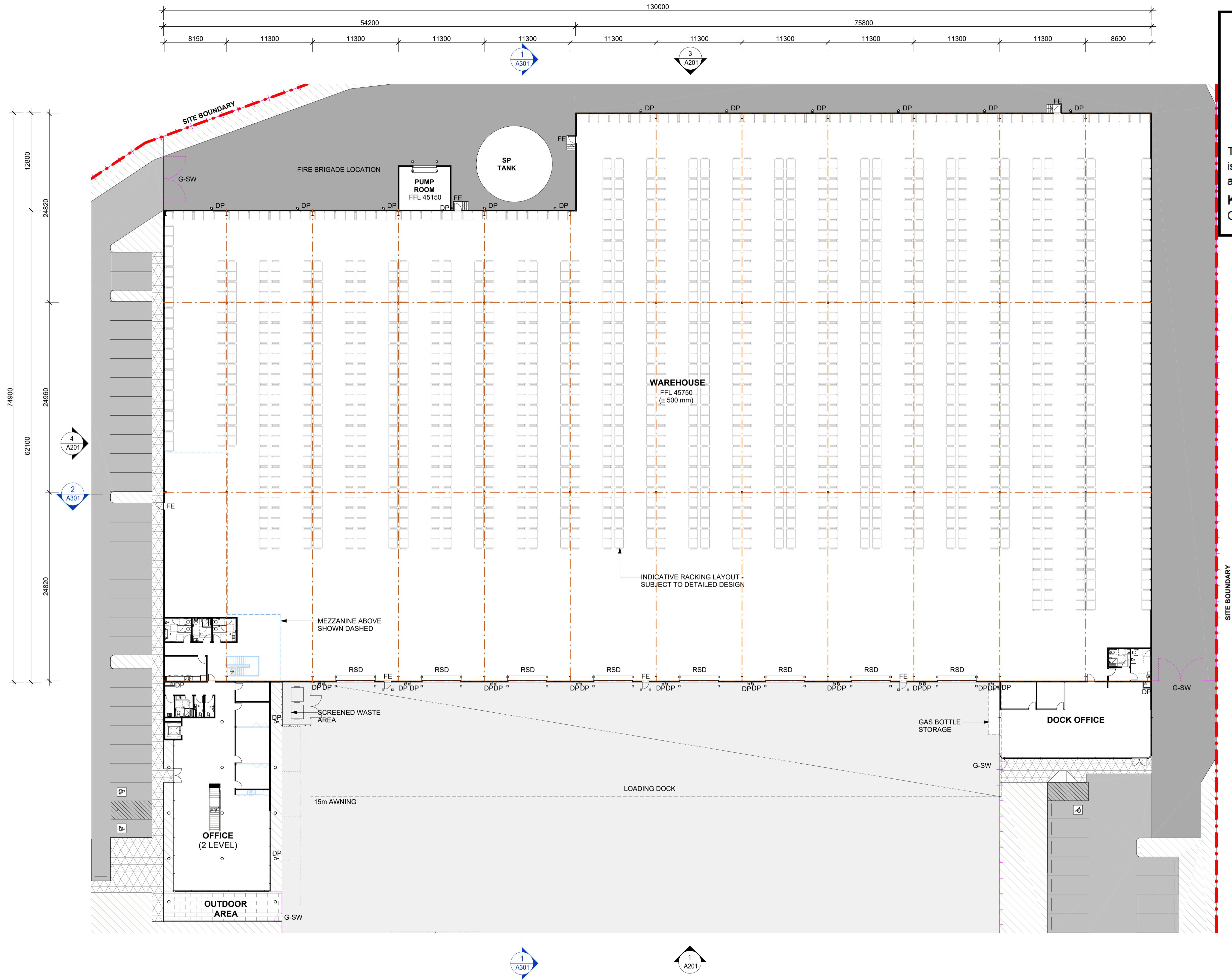
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DA-22-01698
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<div>DEVELOPMENT APPLICATION</div>													



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ABBREVIATION

DP	DOWN PIPE
FE	FIRE EXIT DOOR
G-SL	GATE (SLIDING)
G-SW	GATE SINGLE (SWING)
G-SWD	GATE DOUBLE (SWING)
RSD	ROLLER SHUTTER DOOR
DL	DOCK LEVELER

NOTES

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0m 5m 10m 15m 20m 25m

SCALE BAR 1:250 @ A1 : 1:500 @ A3

Drawing Title
WAREHOUSE PLAN

SHEET NUMBER
1220028_A101

ISSUE
D

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Michael Morony NSWARB No. 8218

Issue	Description	Date	By	QA
A	Draft Development Application	12.09.2022	SA	AM
B	For Coordination	07.10.2022	SA	AM
C	Development Application	02.11.2022	SA	AM
D	Development Application	15.11.2022	SA	AM

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DEVELOPMENT APPLICATION

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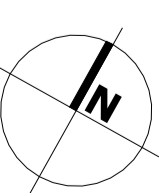


PROJECT MANAGER

PROJECT
SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING
MARSDEN PARK, NSW

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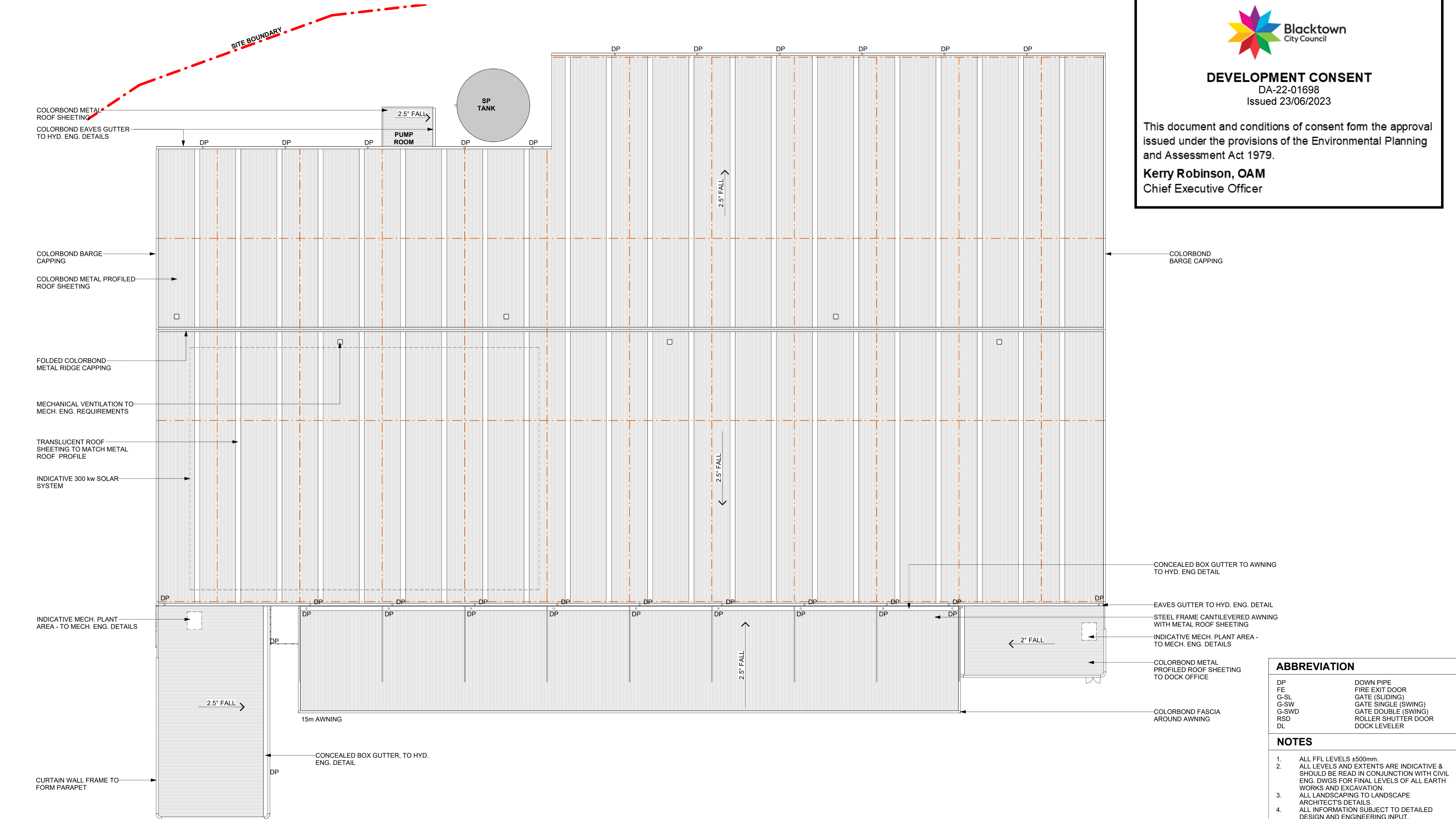
NORTH POINT





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ABBREVIATION

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G-SL	GATE (SLIDING)
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SCALE BAR 1:250 @ A1 ; 1: 500 @ A3

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Michael Morony NSWARB No. 8218

Issue	Description	Date	By	QA
A	Draft Development Application	12.09.2022	SA	AM
B	Development Application	02.11.2022	SA	AM
C	Development Application	15.11.2022	SA	AM

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DEVELOPMENT APPLICATION

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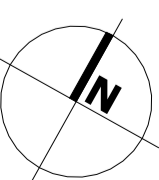


PROJECT MANAGER

PROJECT
SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING
MARSDEN PARK, NSW

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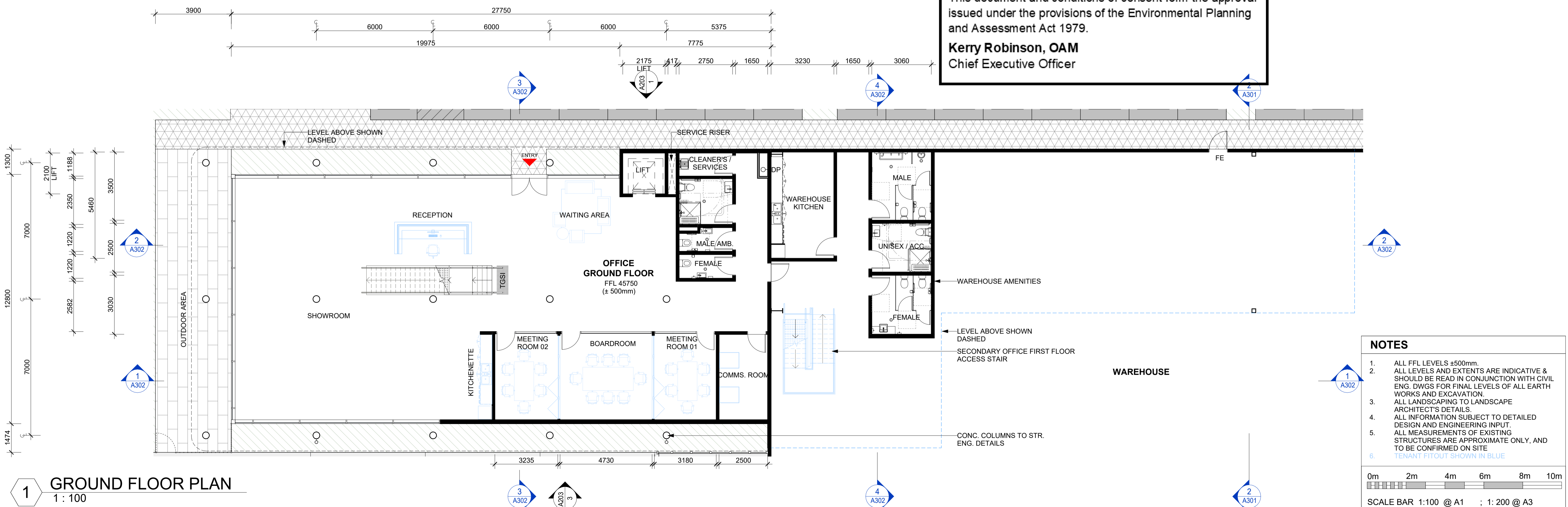
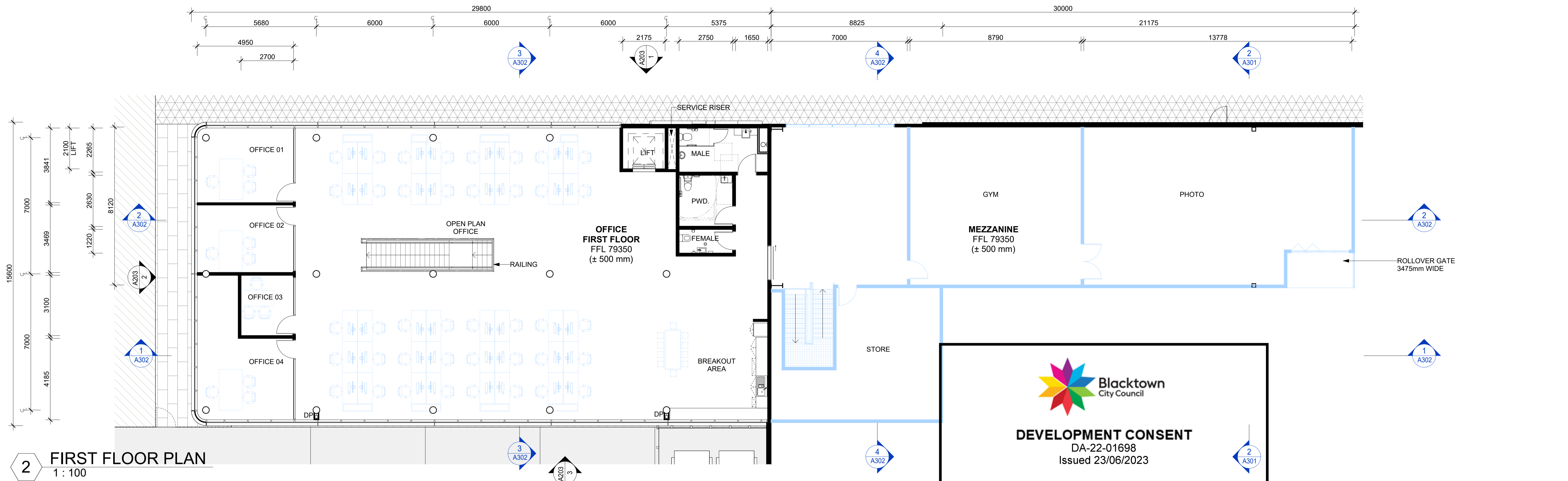
NORTH POINT



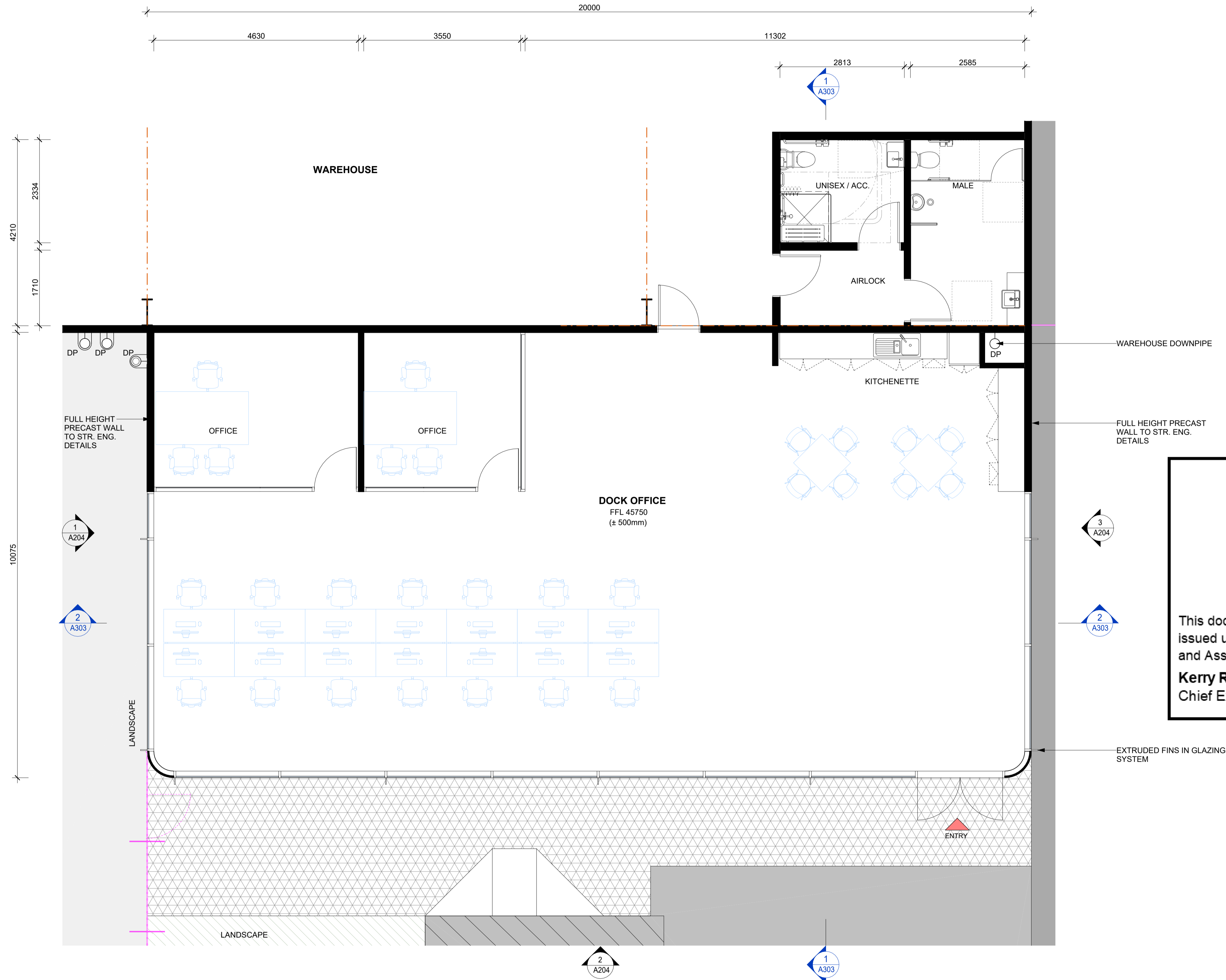
Drawing Title
ROOF PLAN

SHEET NUMBER
1220028_A102

ISSUE
C



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	A	Draft Development Application	12.09.2022	SA	AM							
	B	Revision/Office Plans	30.09.2022	SA	AM							
	C	For Coordination	07.10.2022	SA	AM							
	D	Development Application	02.11.2022	SA	AM							
	E	Development Application	15.11.2022	SA	AM							
									SHEET NUMBER 1220028_A103	ISSUE E		



DEVELOPMENT CONSENT
DA-22-01698
Issued 23/06/2023

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Kerry Robinson, OAM
Chief Executive Officer

Issue	Description	Date	By	QA
A	Draft Development Application	12.09.2022	SA	AM
B	Draft Development Application	16.09.2022	SA	AM
C	Revised Dock Office	27.09.2022	SA	AM
D	For Coordination	07.10.2022	SA	AM
E	Development Application	02.11.2022	SA	AM
F	Development Application	15.11.2022	SA	AM

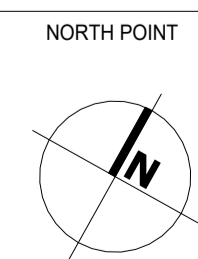
REIDCAMPBELL
Architecture, Interiors, Project Management
ACN 002 033 801 ABN 28 317 605 875
Level 15, 124 Walker Street
North Sydney NSW 2060 Australia
Tel: 61 02 9954 5011 Email: sydney@reidcampbell.com
Fax: 61 02 9954 4946 Web: www.reidcampbell.com

DEVELOPMENT APPLICATION

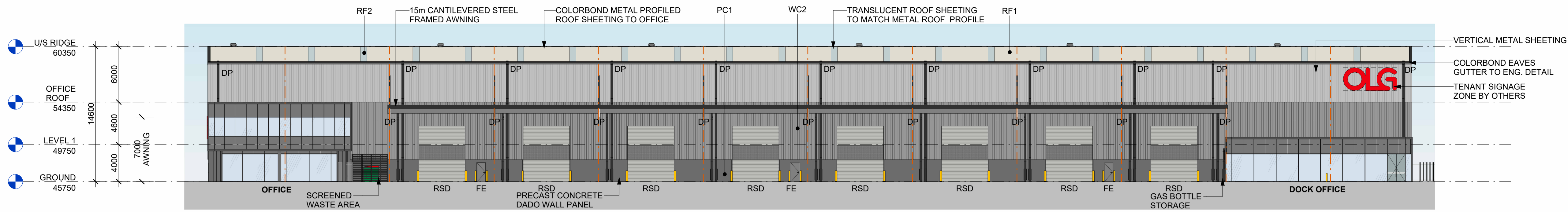


PROJECT MANAGER

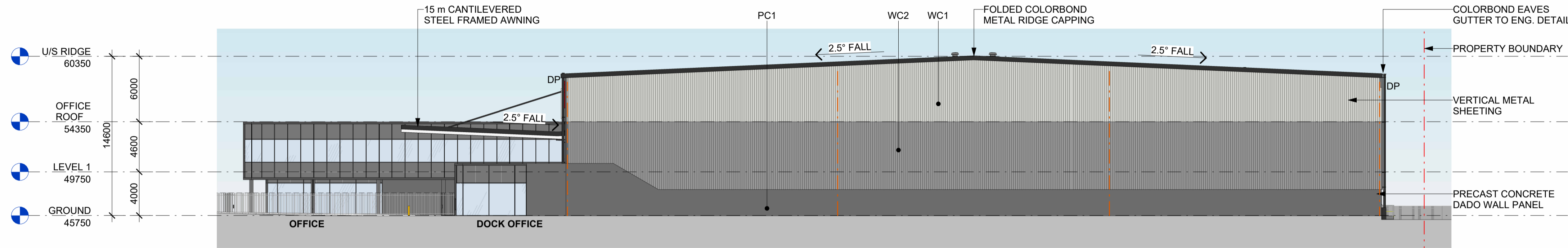
PROJECT
SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING
MARSDEN PARK, NSW
Drawn Checked PRINT DATE
SA AM 15/11/2022 5:48:15 PM



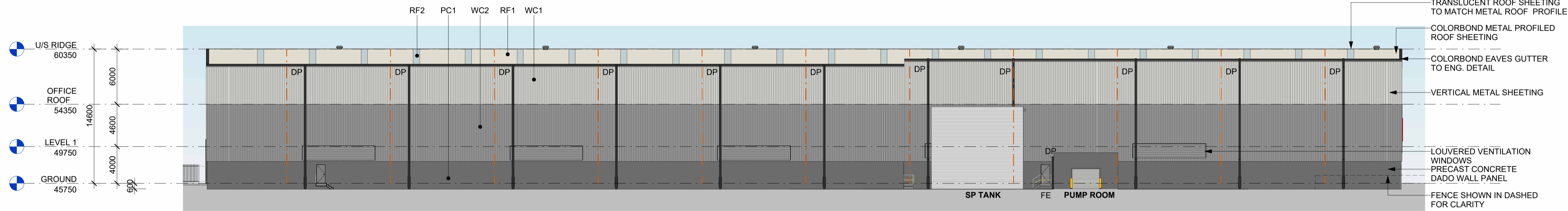
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Drawing Title DOCK OFFICE PLAN
SHEET NUMBER 1220028_ A105
ISSUE F



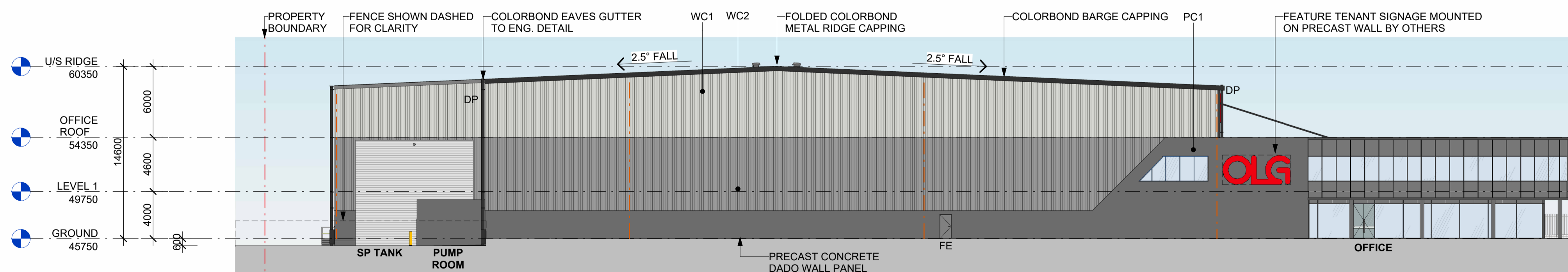
1 SOUTH ELEVATION
1 : 250



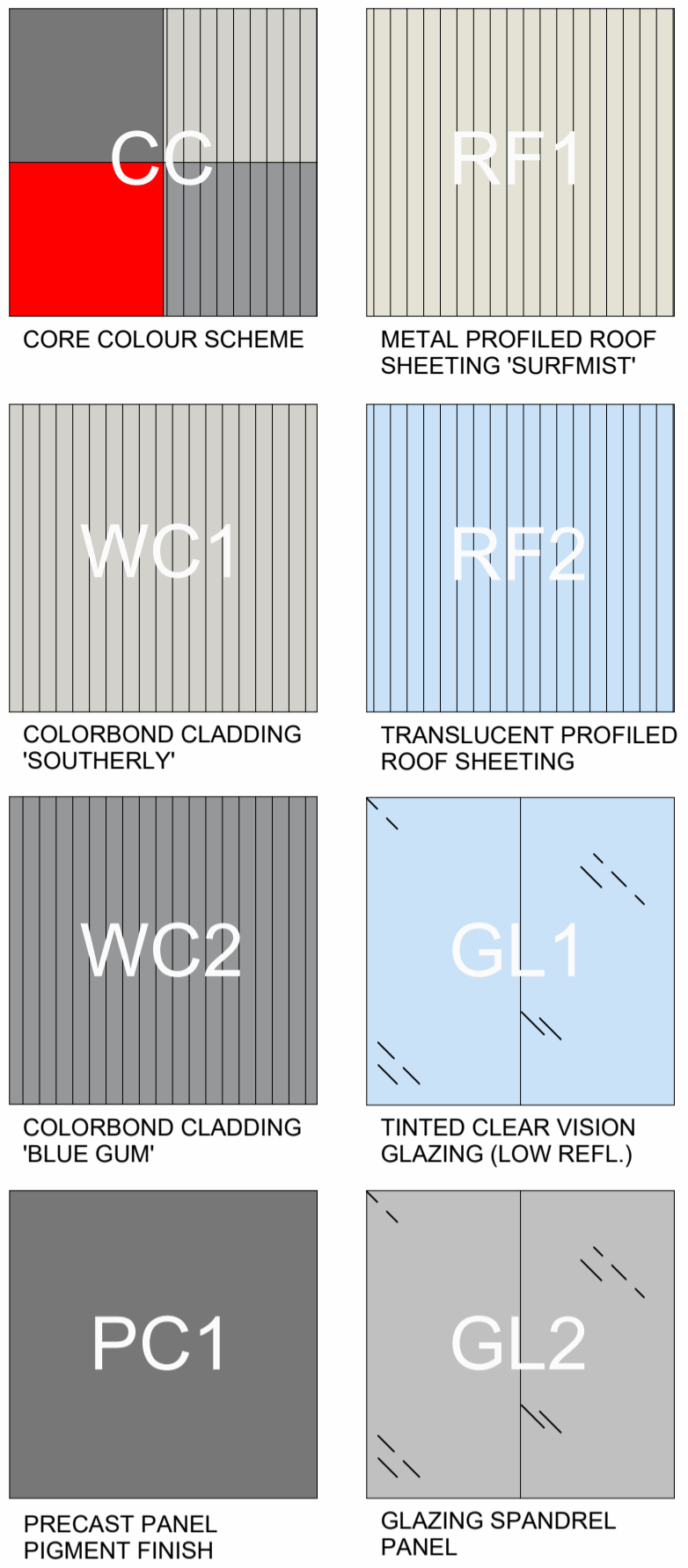
2 EAST ELEVATION
1 : 250




3 NORTH ELEVATION
1 : 250



4 WEST ELEVATION
1 : 250





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NOTES	
1.	ALL FFL LEVELS ±500mm.
2.	ALL LEVELS AND EXTENTS ARE INDICATIVE & SHOULD BE READ IN CONJUNCTION WITH CIVIL ENG. DWGS FOR FINAL LEVELS OF ALL EARTH WORKS AND EXCAVATION.
3.	ALL LANDSCAPING TO LANDSCAPE ARCHITECT'S DETAILS.
4.	ALL INFORMATION SUBJECT TO DETAILED DESIGN AND ENGINEERING INPUT.
5.	ALL MEASUREMENTS OF EXISTING STRUCTURES ARE APPROXIMATE ONLY, AND TO BE CONFIRMED ON SITE
6.	TENANT FITOUT SHOWN IN BLUE

0m5m10m15m20m25m

SCALE BAR 1:250 @ A1 ; 1: 500 @ A3


Drawing Title	
WAREHOUSE ELEVATIONS 01	
N/A	
SHEET NUMBER	
1220028_ A201	
ISSUE	
C	

Issue	Description	Date	By	QA
A	Draft Development Application	12.09.2022	SA	AM
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DEVELOPMENT APPLICATION

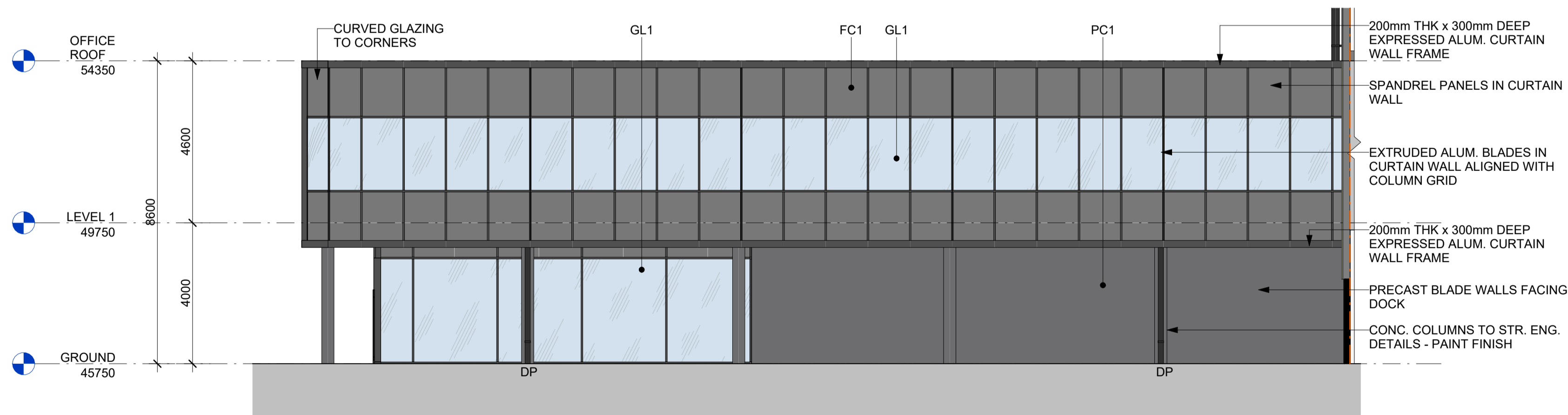
CLIENT		PROJECT MANAGER	
PROJECT	Sydney Business Park - Proposed Industrial Building Marsden Park, NSW	Drawn	Checked
		SA	AM
		PRINT DATE	15/11/2022 6:19:16 PM



1 OFFICE SOUTH WEST ELEVATION
1 : 100



2 OFFICE SOUTH EAST ELEVATION
1 : 100



3 OFFICE NORTH EAST ELEVATION
1 : 100

CC

CORE COLOUR SCHEME

RF1

METAL PROFILED ROOF SHEETING 'SURFMIST'

WC1

COLORBOND CLADDING 'SOUTHERLY'

RF2

TRANSLUCENT PROFILED ROOF SHEETING

WC2

COLORBOND CLADDING 'BLUE GUM'

GL1

TINTED CLEAR VISION GLAZING (LOW REFL.)

PC1


PRECAST PANEL PIGMENT FINISH

GL2

GLAZING SPANDREL PANEL

FC1

CONCRETE-LOOK PRE-FINISHED FC CLADDING



Blacktown
City Council

DEVELOPMENT CONSENT

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6. TENANT FITOUT SHOWN IN BLUE

0m2m4m6m8m10m

SCALE BAR 1:100 @ A1 : 1: 200 @ A3

Drawing Title

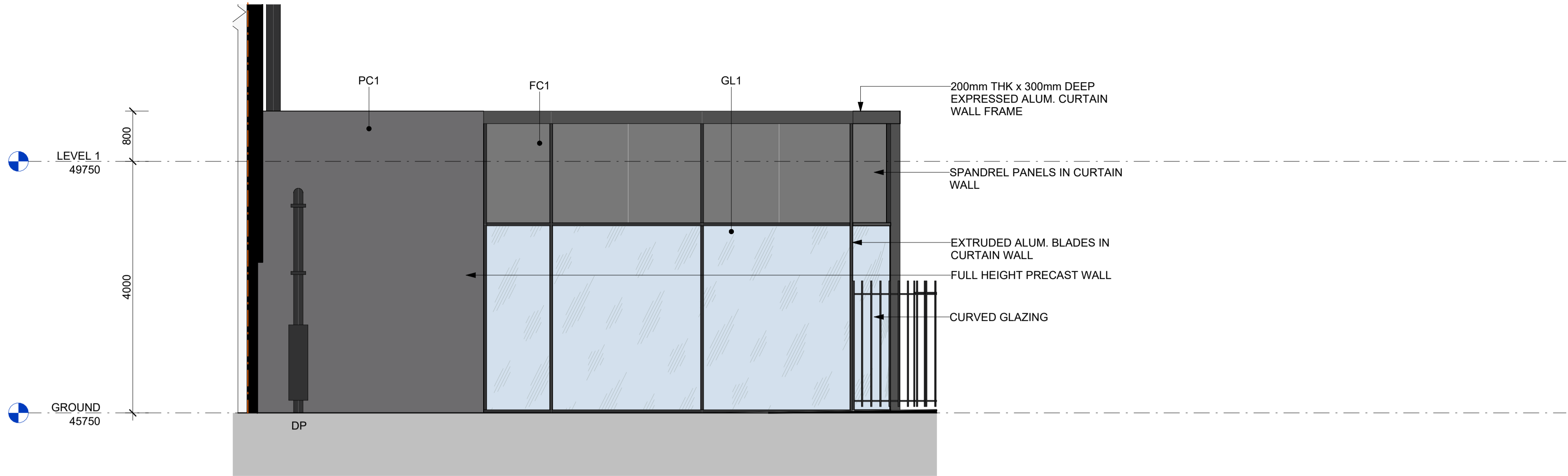
OFFICE ELEVATIONS

SHEET NUMBER

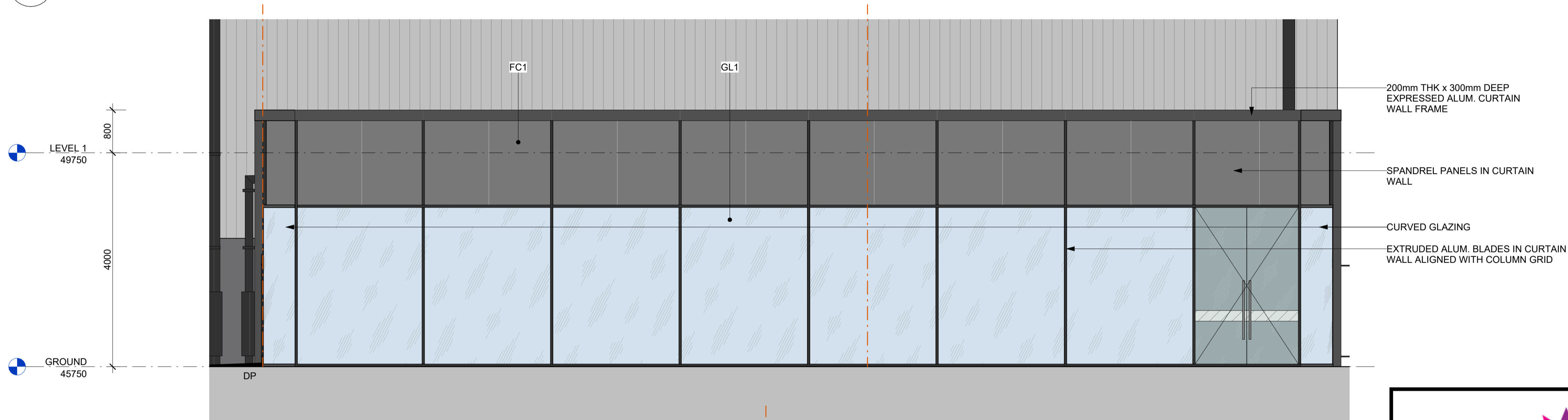
1220028_ A203

ISSUE

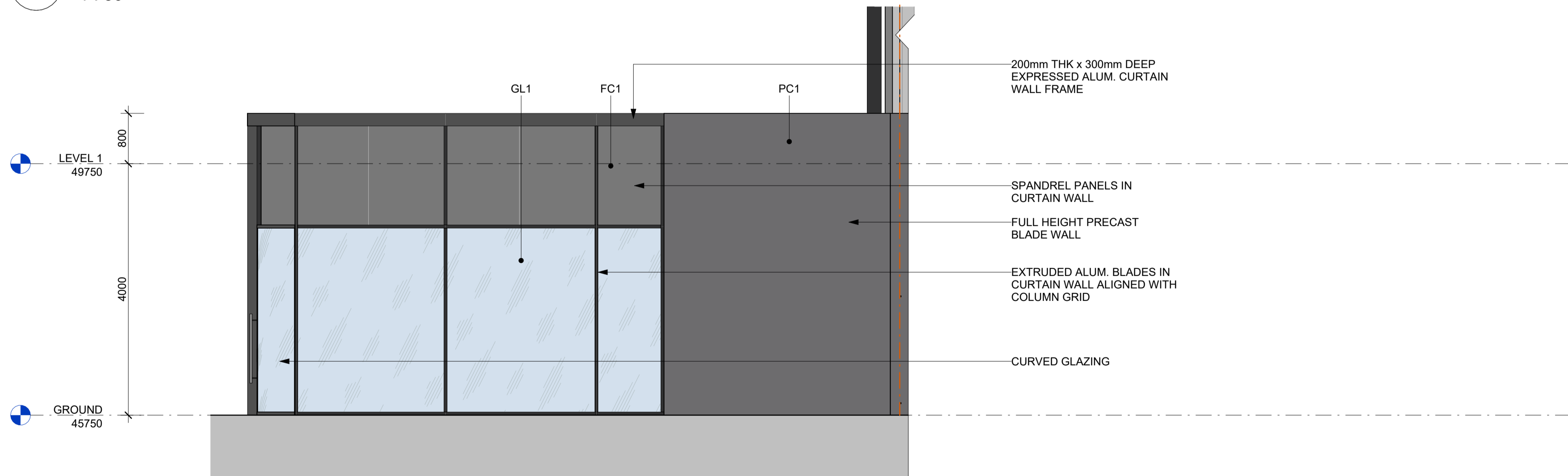
C



1 DOCK OFFICE SOUTH WEST ELEVATION
1 : 50



2 DOCK OFFICE SOUTH EAST ELEVATION
1 : 50



3 DOCK OFFICE NORTH EAST ELEVATION
1 : 50

CC

CORE COLOUR SCHEME

RF1

METAL PROFILED ROOF SHEETING 'SURFMIST'

WC1

COLORBOND CLADDING 'SOUTHERLY'

RF2

TRANSLUCENT PROFILED ROOF SHEETING

WC2

COLORBOND CLADDING 'BLUE GUM'

GL1

TINTED CLEAR VISION GLAZING (LOW REFL.)

PC1


PRECAST PANEL PIGMENT FINISH

GL2

GLAZING SPANDREL PANEL

FC1

CONCRETE-LOOK PRE-FINISHED FC CLADDING



Blacktown
City Council

DEVELOPMENT CONSENT
DA-22-01698
Issued 23/06/2023

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- Report all discrepancies to project manager prior to construction.
- Figured dimensions to be taken in preference to scaled drawings.
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B	Development Application	02.11.2022	SA	AM
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DEVELOPMENT APPLICATION

CLIENT



PROJECT MANAGER

PROJECT

SYDNEY BUSINESS PARK - PROPOSED INDUSTRIAL BUILDING
MARSDEN PARK, NSW

NORTH POINT

N/A

Drawn

Checked

PRINT DATE

CL

AM

15/11/2022 5:48:58 PM

Drawing Title

DOCK OFFICE ELEVATIONS

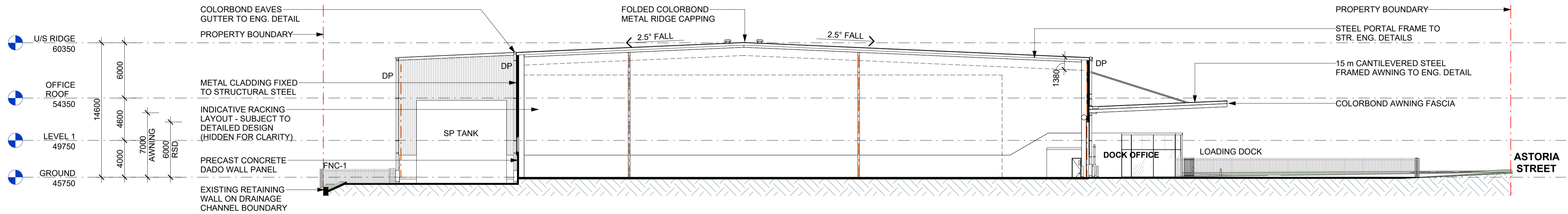
SHEET NUMBER

1220028_ A204

ISSUE

C

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1 WAREHOUSE CROSS SECTION
1 : 250



2 WAREHOUSE LONG SECTION
1 : 250



DEVELOPMENT CONSENT
DA-22-01698
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6. TENANT FITOUT SHOWN IN BLUE



SCALE BAR 1:250 @ A1 ; 1: 500 @ A3

Drawing Title
WAREHOUSE SECTIONS

SHEET NUMBER
1220028_ A301

ISSUE
C

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Michael Morony NSWARB No. 8218

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B	Development Application	02.11.2022	SA	AM
C	Development Application	15.11.2022	SA	AM

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DEVELOPMENT APPLICATION

CLIENT



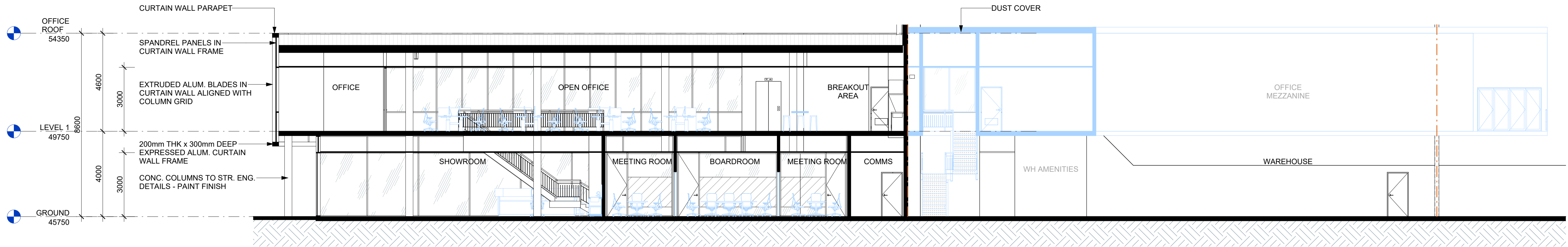
PROJECT MANAGER

PROJECT
**SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING**
MARSDEN PARK, NSW

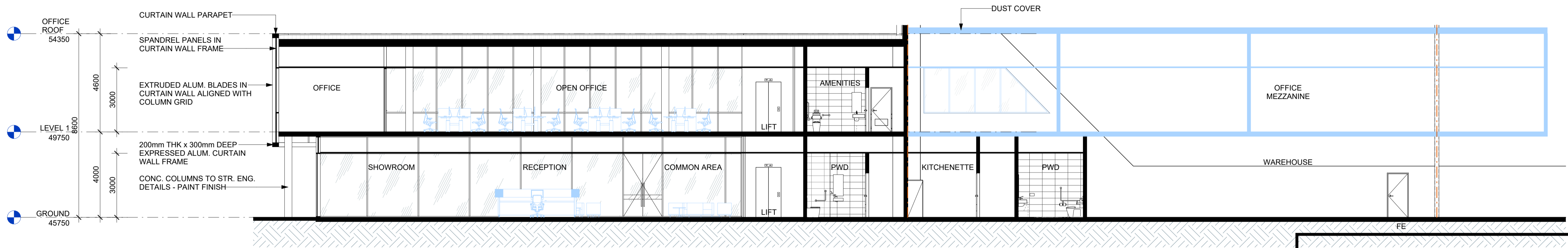
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NORTH POINT

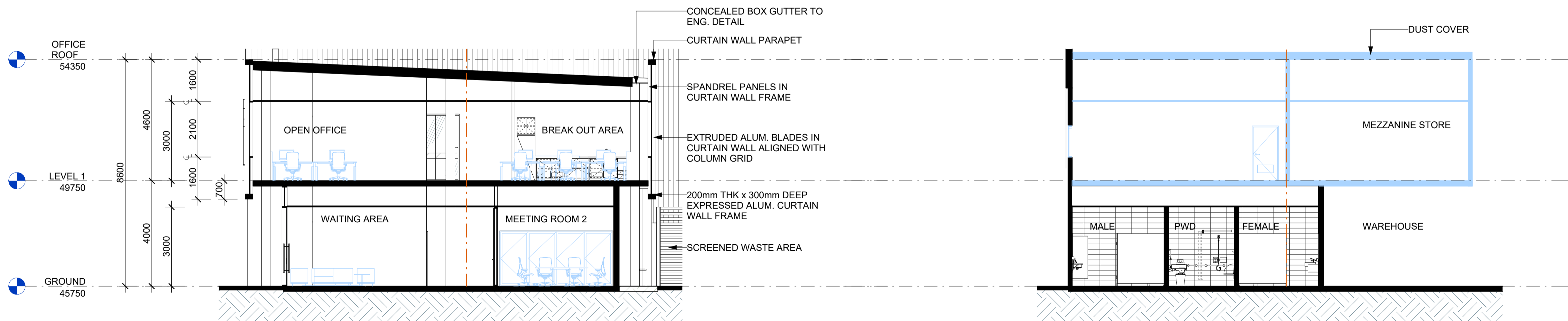
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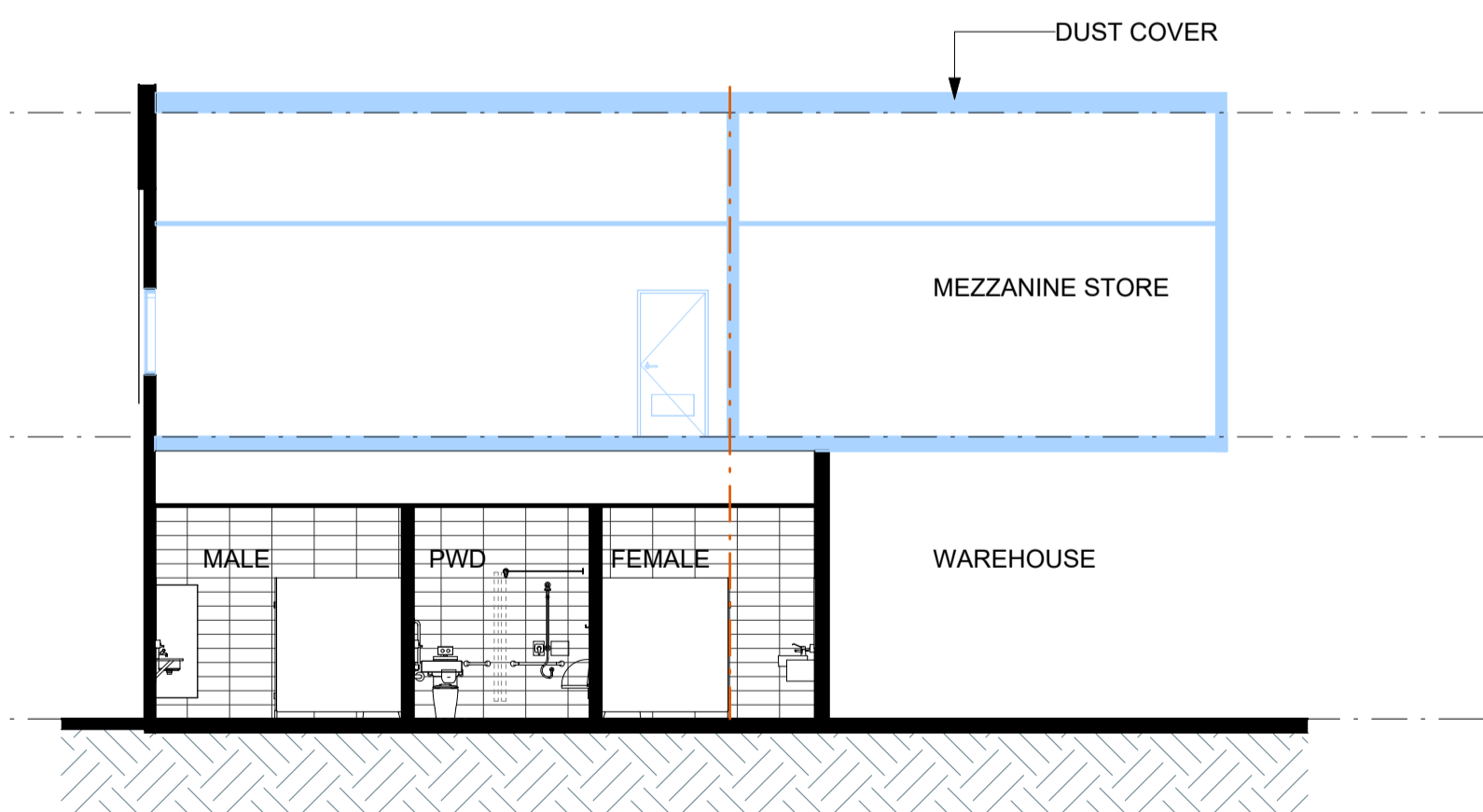
1 OFFICE LONG SECTION 01
1 : 100



2 OFFICE LONG SECTION 02
1 : 100



3 OFFICE CROSS SECTION 01
1 : 100



4 OFFICE CROSS SECTION 02
1 : 100



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0m 2m 4m 6m 8m 10m

SCALE BAR 1:100 @ A1 : 1:200 @ A3

Drawing Title
OFFICE SECTIONS

SHEET NUMBER
1220028_A302

ISSUE
C

Notes	Issue	Description	Date	By	QA
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-Contractor to verify all dimensions on site before commencing work.	B	Development Application	02.11.2022	SA	AM
-Report all discrepancies to project manager prior to construction.	C	Development Application	15.11.2022	SA	AM
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Michael Morony NSWARB No. 8218

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DEVELOPMENT APPLICATION

CLIENT



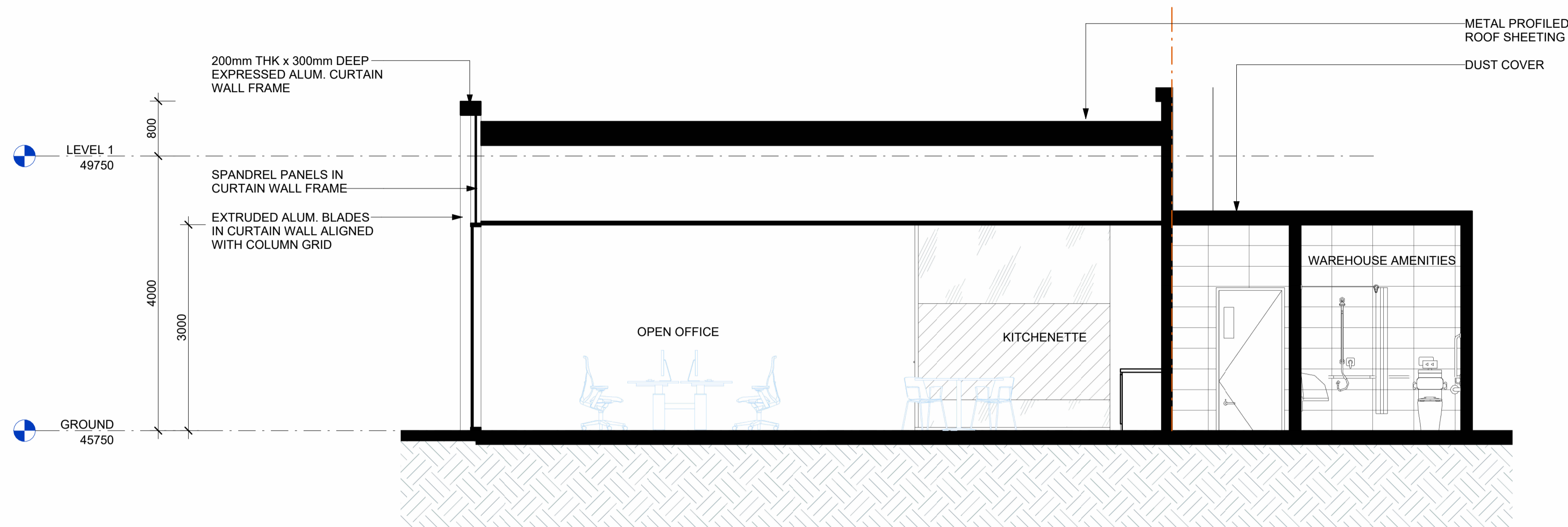
PROJECT MANAGER

PROJECT
**SYDNEY BUSINESS PARK -
PROPOSED INDUSTRIAL
BUILDING**
MARSDEN PARK, NSW

Drawn Checked PRINT DATE
SA AM 15/11/2022 5:51:30 PM

NORTH POINT

N/A



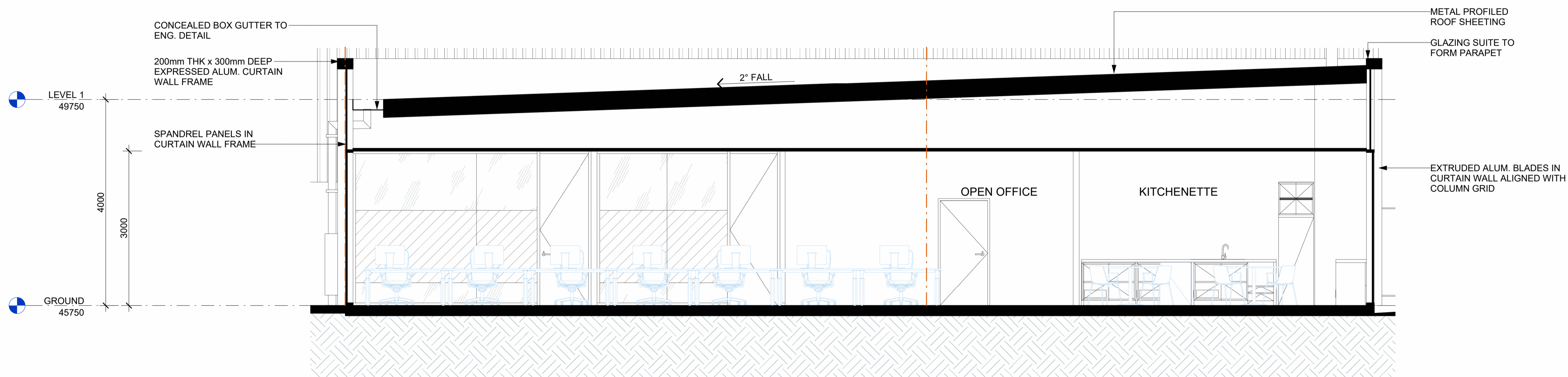
DEVELOPMENT CONSENT

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1 DOCK OFFICE CROSS SECTION
1 : 50



2 DOCK OFFICE LONG SECTION
1 : 50

NOTES

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0m1m2m3m4m5m

SCALE BAR 1:50 @ A1 ; 1: 100 @ A3

Drawing Title

DOCK OFFICE SECTIONS

SHEET NUMBER

1220028_ A303

ISSUE

D

Notes	Issue	Description	Date	By	QA
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Michael Morony NSWARB No. 8218					

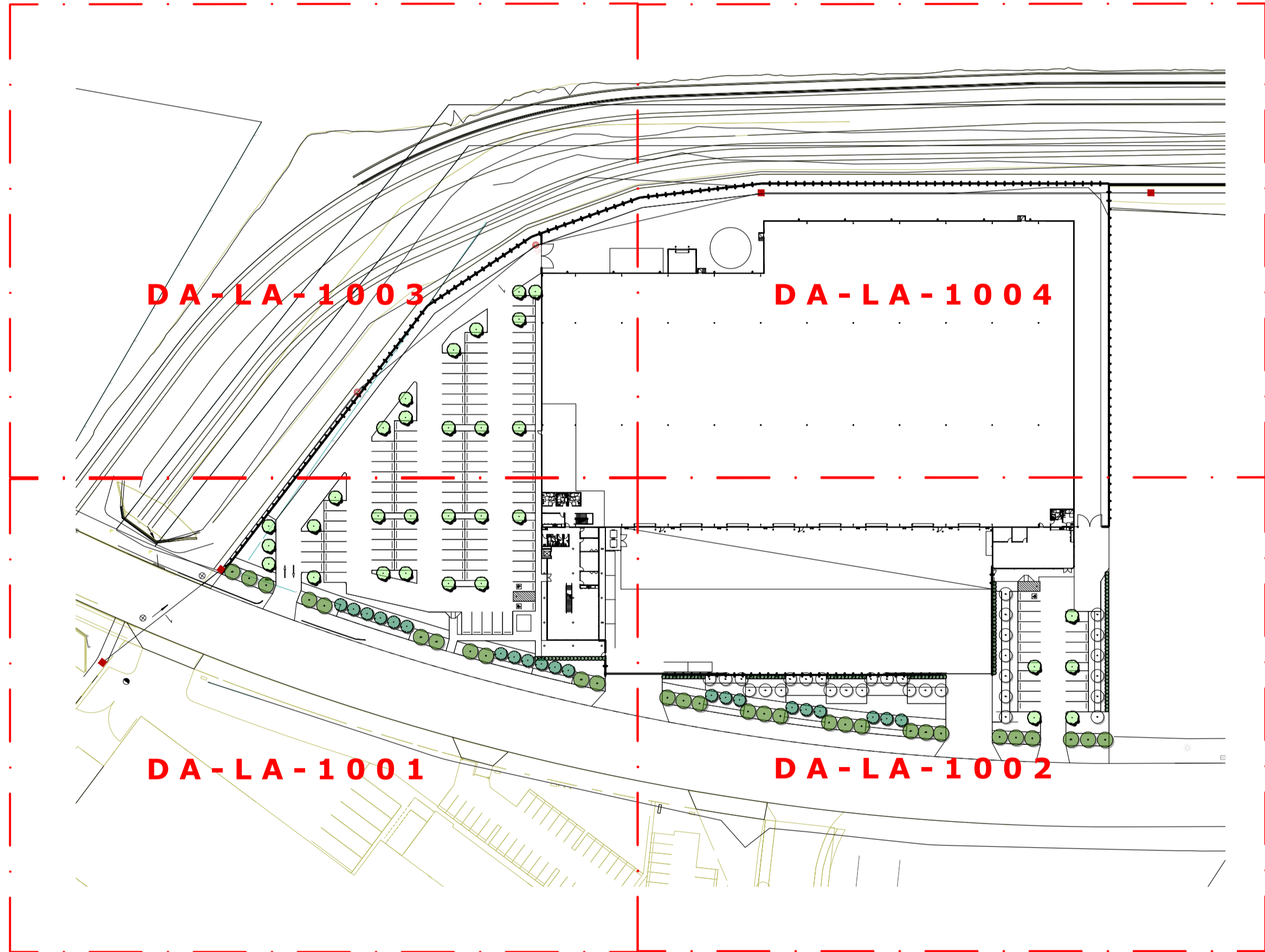
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DEVELOPMENT APPLICATION



CLIENT			PROJECT MANAGER		
PROJECT			NORTH POINT		
SYDNEY BUSINESS PARK - PROPOSED INDUSTRIAL BUILDING			N/A		
MARSDEN PARK, NSW					
Drawn	Checked	PRINT DATE			
CL	AM	15/11/2022 5:51:54 PM			

DWG NO.	ISSUE	DRAWING TITLE
DA-LA-0000	B	COVER SHEET
DA-LA-0001	B	LANDSCAPE SPECIFICATION & QUALITY CONTROL
DA-LA-1001	B	LANDSCAPE PLAN
DA-LA-1002	B	LANDSCAPE PLAN
DA-LA-1003	B	LANDSCAPE PLAN
DA-LA-1004	B	LANDSCAPE PLAN
DA-LA-2001	B	LANDSCAPE DETAILS
DA-LA-2002	B	LANDSCAPE DETAILS



SITE PLAN

1:1000 @ A1

REVISION	DATE	AMMENDMENT
A	2022-11-05	FOR DEVELOPMENT APPLICATION
B	2022-11-19	FOR DA (AMMENDMENT 1)

NOTES
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PROJECT NO
2210



PROJECT TEAM
REID CAMPBELL

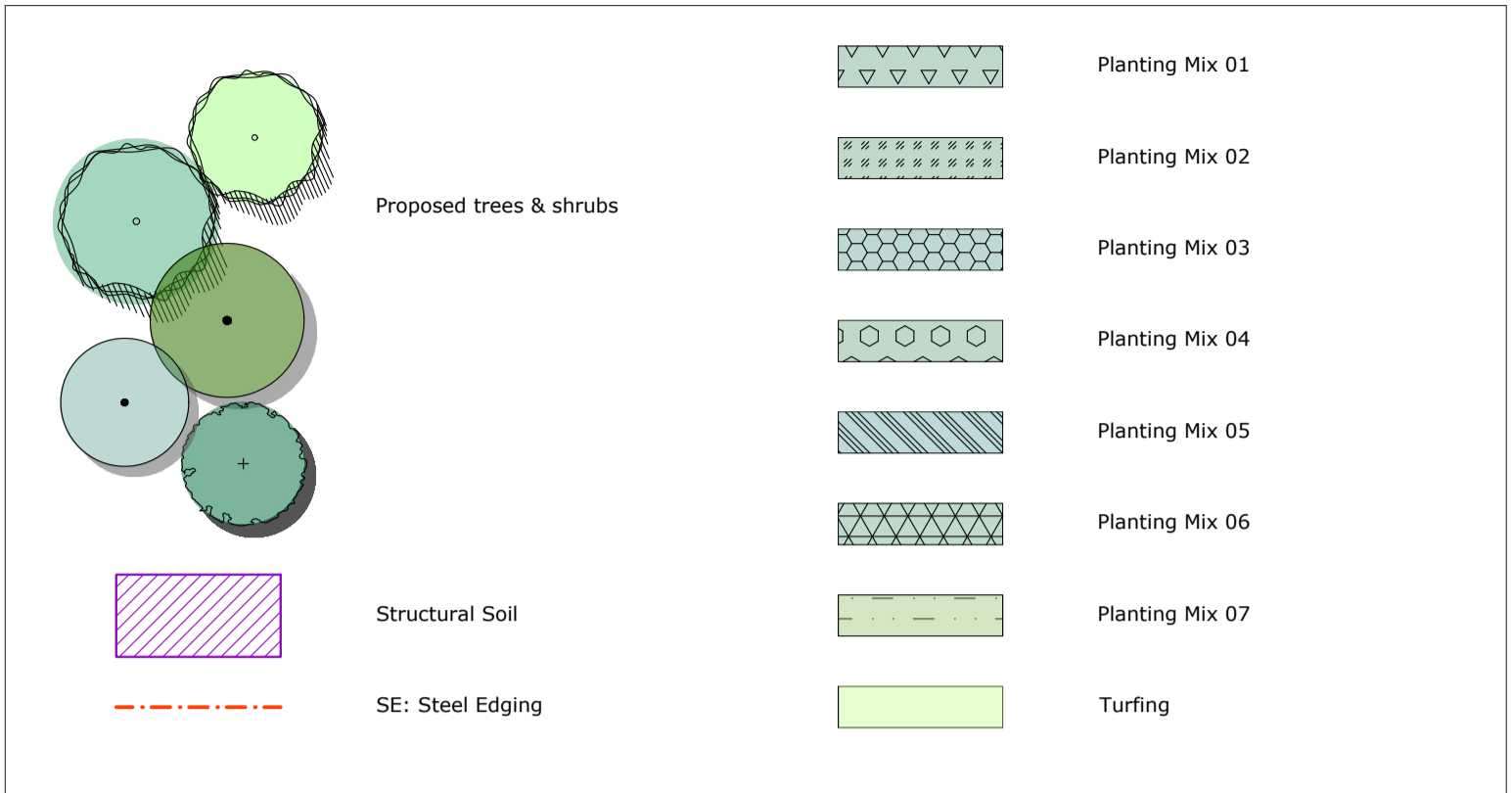
CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
COVER SHEET

PROJECT
OLG
SYDNEY BUSINESS PARK



CC - LA - 0000



LEGEND

CODE	SPECIES	COMMON NAME	HEIGHT	POT SIZE	QUANTITY
TREES					
CMA	Corymbia maculata	Spotted Gum	24M	75L	21
LCO	Lophostemon confertus	Brush Box	14M	75L	31
PCB	Pyrus calleryana 'Bradford'	Bradford	8M	100L	32
TLL	Tristanopsis 'Luscious'	Luscious	8M	100L	29

FEATURE HEDGES					
Mfi	Michelia figo	Port Wine Magnolia	2M	200mm	130

PLANTING MIX TYPE 01					
ljr	Liriope 'Just Right'	Just Right	0.5M	140mm	1445
tja	Trachelospermum jasminoides	Star Jasmine	0.2M	140mm	1445

PLANTING MIX TYPE 02					
Aam	Acmena 'Alyn Magic'	Alyn Magic	1.5M	200mm	180
Cbj	Callistemon 'Better John'	Little John	0.6M	140mm	200

PLANTING MIX TYPE 03					
ilt	Lomandra 'Lime Tuff'	Lime Tuff	1.2M	tube	3810

PLANTING MIX TYPE 04					
lka	Lomandra 'Katrinus'	Katrinus	1.4M	tube	870
pna	Pennisetum 'Nafay'	Swamp Foxtail Nafay	1.2M	tube	580

PLANTING MIX TYPE 05					
Cwa	Callistemon 'White Anzac'	White Anzac	2M	200mm	130
Gss	Grevillea 'Scarlet Sprite'	Scarlet Sprite	1.5M	200mm	130

PLANTING MIX TYPE 06					
Cwa	Callistemon 'White Anzac'	White Anzac	2M	200mm	100
Gss	Grevillea 'Scarlet Sprite'	Scarlet Sprite	1.5M	200mm	100
Wfr	Westringia fruticosa	Coastal Rosemary	1.4M	200mm	130

PLANTING MIX TYPE 07					
Ckp	Callistemon 'Kings Park Special'	Kings Park Special	4M	200mm	115
Dex	Doryanthes excelsa	Gynea Lily	5M	300mm	115
Gmo	Grevillea 'Moonlight'	Moonlight	4M	200mm	115
Grg	Grevillea 'Misty Pink'	Misty Pink	3M	200mm	115
cap	Carex appressa	Tall Sedge	1M	tube	945
ilo	Lomandra longifolia	Spiny Mat-Rush	1.4M	tube	1135
pal	Pennisetum alopecuroides	Swamp Foxtail	1.6M	tube	945

PLANT SCHEDULE

1.	All soft landscape areas to be ripped and cultivated up to 200mm depth
2.	Imported Soil
2.1.	Soils to conform to AS4419-2003 <i>Soils for landscaping & garden use</i>
2.2.	Soil Types & Depths
2.2.1.	Soil Mix Type A (General Mass Planting Areas): Organic Garden Mix or equivalent at 300mm depth
2.2.2.	Soil Mix Type B (Base of Tree Pit): Sandy loam topsoil to base of tree pit as detailed
2.2.3.	Soil Mix Type C (Turf Areas): 80:20 Turf Underlay or equivalent at 100mm depth
2.1.4.	Soil Mix Type F: Smart Mix 3 40mm Structural Soil by Benedicts or equivalent at 450mm depth
3.	Mulches to conform to AS4454-2003 Soil Conditioners for landscaping & garden use
3.1.	Mulch Types & Depths
3.1.1.	Mass Planting Areas: 'Forest Fines (4-16mm)' or equivalent up to 75mm depth
4.	Turf must be Kikuyu unless otherwise stated
4.1.	Edging
4.1.1.	Steel edge must be constructed between Mass Planting & Turf Areas. Steel edge must be 150x5mm welded to 12x450mm (N12) bar at a maximum interval of 1.2M. Additional supporting bar is required for curved sections of edging
5.	Root barrier
5.1.	Place 3M long x 600mm deep root barrier to trees located within 2M of hard surface areas (paving, kerbs, carparks).
6.	Planting
6.1.	Plants must be supplied by an approved nursery supplier as nominated by the Superintendent
6.2.	Plants must be true to species or cultivar as per the Landscape Plan & Plant Schedule. No substitutions are allowed unless approved in writing by the Superintendent.
6.3.	Planting holes must be dug to a depth and width that is slightly larger than the width of the plant root ball. Base of planting hole must be loosened to depth of 75mm. Root ball must be backfilled with friable topsoil. Upon completion of the planting operation the base of each stem must finish flush with the surface of the topsoil.
6.4.	A mulch dish must be formed around the base of each plant to aid in water absorption
6.5.	No trees are to be removed, ringbarked, cut, topped or lopper or willfully destroyed (other than those within the proposed building footprint or as shown on approved plans) without the prior consent of Council and in accordance with Council's Tree Preservation Order & Policy
7.	Irrigation
7.1.	A certified irrigation contractor must design and install a fully functional automated irrigation system to all areas of planting and turfing, including but not limited to
7.2.1.	Planting and turf areas on grade
7.2.2.	Planting and turf areas on slab or podium
7.3.	The proposed irrigation system must conform to Sydney Water and Council requirements including any water restriction requirements
7.4.	The irrigation contractor is responsible for establishing the number and locations of main lines, laterals, solenoids, filters, drip emitters, spray heads etc required to provide a satisfactory performance of the system.
7.5.	Drip emitters must be spaced at a maximum of 300mm intervals.
7.6.	All new trees are to be provided with double rings over the rootball
7.7.	Sprinker systems (pop up, spray heads etc) must have full coverage from head to head.
8.	Landscape maintenance
8.1.	Maintenance period is twenty-six (26) weeks from date of Practical Completion.
8.1.1.	Scope of works includes (but is not limited to) the following: Mowing & Trimming, Topdressing, Plant Replacements, Insect & Disease Control, Reinstatement / Removal of Stakes & Ties, Weeding (hand removal and / or chemical (herbicide), Fertilising, Rubbish Removal, Re-Mulching & Watering (as required)
9.	Tree Maintenance
9.1.	Undertake tree maintenance every 6 months
9.2.	Directional pruning
9.2.1.	Undertake direction pruning to branches that show signs of growing into the office, warehouse pathway or driveway. Remove selected branches to branch collars or to a growing point.
9.3.	Crown lifting
9.3.1.	Undertake crown lifting to remove lower branches to provide visibility and adequate clearance from footpaths, paving areas or

LANDSCAPE SPECIFICATION

1.	Requirement of regulatory agencies
1.1.	Perform work in accordance with all applicable laws, codes and regulations required by authorities having jurisdiction over such work and provide for all inspections and permits required by Federal, State and Local authorities in furnishing, transporting and installing materials
2.	Set Out
2.1.	The Landscape Contractor must check and verify all work on site (including by others) before commencing the landscape installation. Any discrepancies are to be reported to the Landscape Architect prior to commencement of work.
2.2.	Should proposed tree locations have the potential to interfere with existing or proposed utilities / services then the Landscape Contractor must advise the Landscape Architect and await instruction prior to proceeding
3.	Dimensions
3.1.	Written dimensions take precedence over scaled dimensions. All dimensions and levels must be verified by the Landscape Contractor. The Landscape Contractor must obtain written approval from the Landscape Architect of initial set out prior to commencement of work. If in doubt, contact the Landscape Architect. Any discrepancies must be reported to the Landscape Architect
4.	Samples
4.1.	The Landscape Contractor must provide material samples of all items intended to be used within the project scope of works. The material samples must include
4.1.1.	Product information
	Material data sheet
	Photo of material (upon request of Landscape Architect)
	Physical sample (upon request of Landscape Architect)
4.1.2.	Supplier information
	Name & contact details of supplier
	Produce code (if available)
4.1.3.	Material application
4.1.4.	Statement of conformance to the Landscape Specification
4.2.	The Landscape Architect reserves the right to take and evaluate samples of materials for conformity to specifications at any time. Rejected materials shall be removed from the site at Landscape Contractor's expense
5.	Plant schedule
5.1.	The Landscape Contractor is responsible to identify and seek approval from the Landscape Architect any proposed plant substitutes prior to procurement or installation
6.	Inspections
6.1.	Notice
6.1.1.	The Landscape Contractor must provide the Landscape Architect with five (5) working days notice before required attendance at the nominated Landscape Inspections
6.2.	Site Inspections
6.2.1.	Tree Pits in Structural Soil (Hold & Witness Point)
	After tree pit excavation, placement of root barrier and prior to placement of Structural Soil
6.2.2.	Soil Works (Hold Point)
	After placement of topsoil and prior to placement of plants, irrigation or mulch
6.2.3.	Practical Completion (Hold & Witness Point)
	After all landscape works have been completed

QUALITY CONTROL



DEVELOPMENT CONSENT
DA-22-01698
Issued 23/06/2023

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Kerry Robinson, OAM
Chief Executive Officer

REVISION	DATE	AMMENDMENT
A	2022-11-05	FOR DEVELOPMENT APPLICATION
B	2022-11-19	FOR DA (AMMENDMENT 1)

PROJECT NO
2210

NOTES
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PROJECT TEAM
REID CAMPBELL

CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
LANDSCAPE SPECIFICATION & QUALITY CONTROL


PROJECT
OLG SYDNEY BUSINESS PARK

PROJECT
OLG SYDNEY BUSINESS PARK



CC - LA - 0001





Blacktown
City Council

DEVELOPMENT CONSENT
DA-22-01698
Issued 23/06/2023

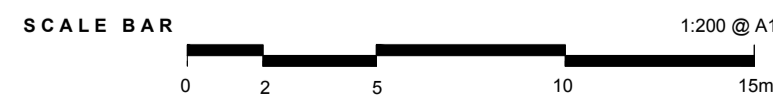
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Chief Executive Officer

LANDSCAPE PLAN
SCALE - 1:200

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PROJECT NO 2210
SCALE 1:200 @ A1

PROJECT TEAM
REID CAMPBELL

CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
LANDSCAPE PLAN

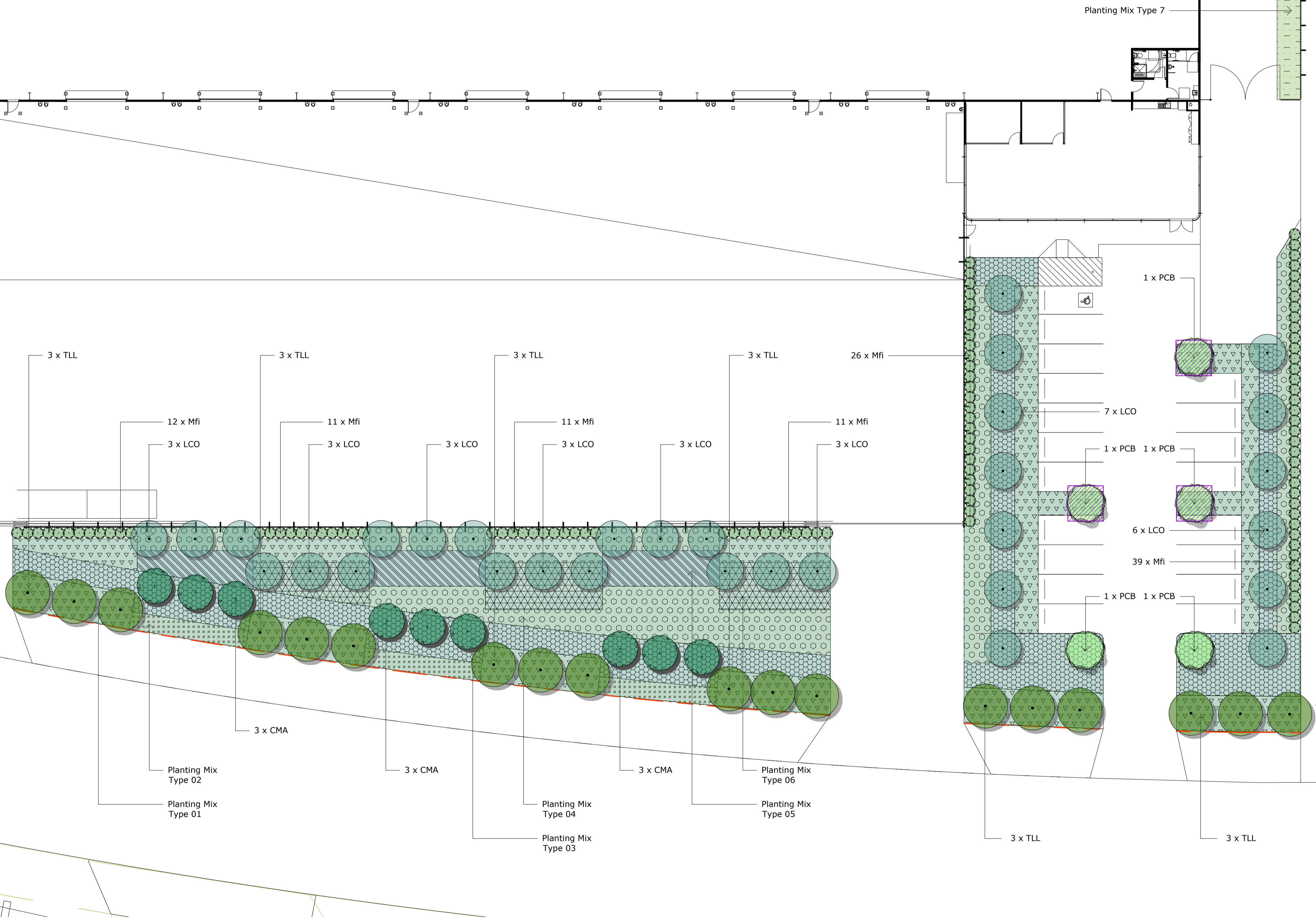
PROJECT
OLG
SYDNEY BUSINESS PARK



CC - LA - 1001

REFER LA-1004

REFER LA-1001



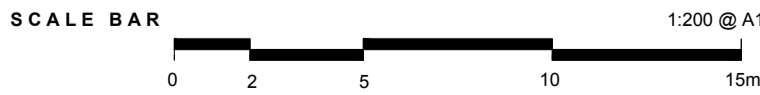
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LANDSCAPE PLAN
SCALE - 1:200

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PROJECT NO 2210
SCALE 1:200 @ A1

PROJECT TEAM
REID CAMPBELL

CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
LANDSCAPE PLAN

PROJECT
OLG
SYDNEY BUSINESS PARK



CC - LA - 1002

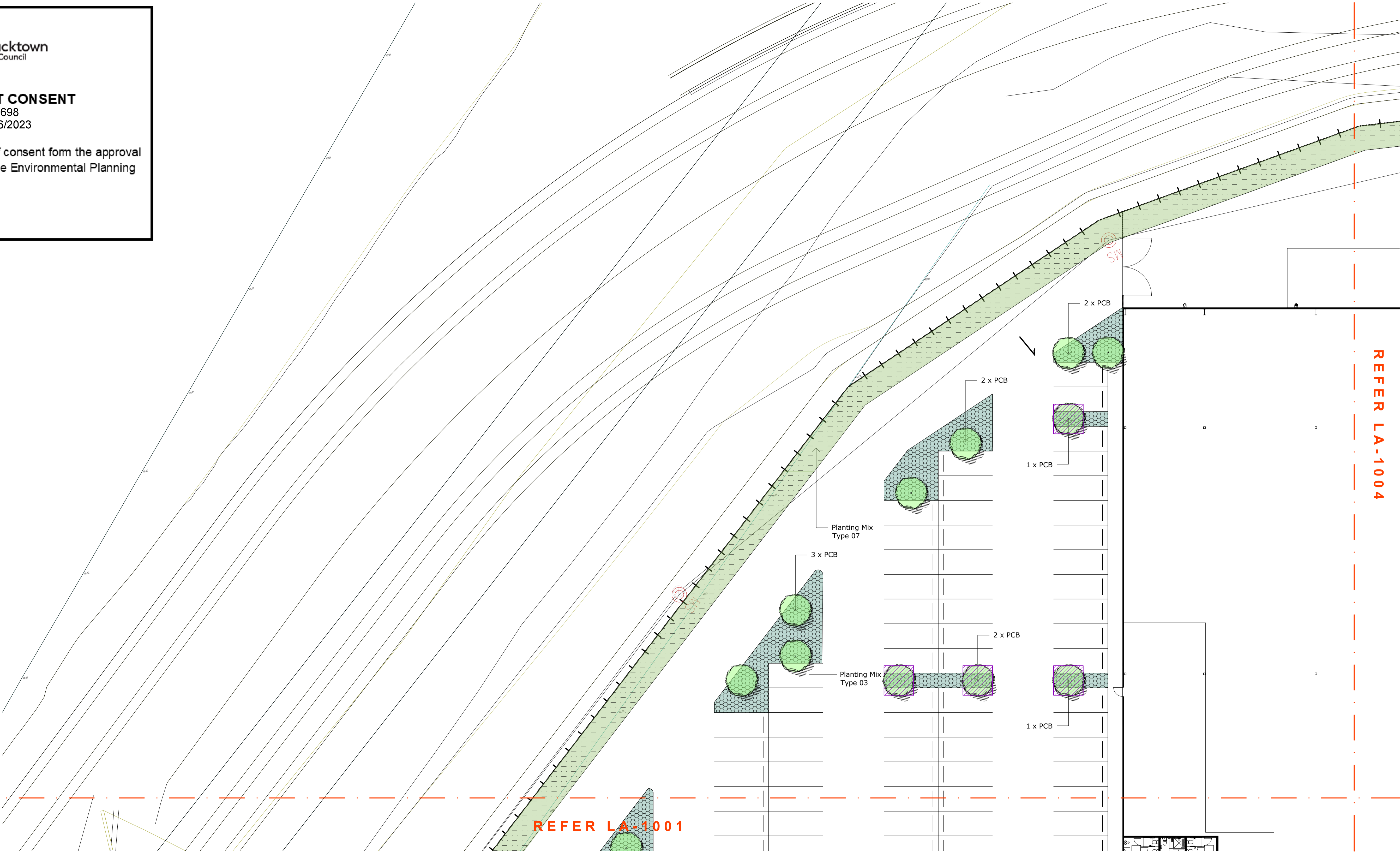


DEVELOPMENT CONSENT

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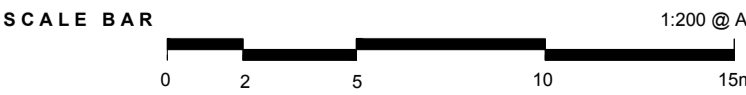
REFER LA-1004

REFER LA-1001

LANDSCAPE PLAN
SCALE - 1:200

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PROJECT NO 2210
SCALE 1:200 @ A1

PROJECT TEAM
REID CAMPBELL

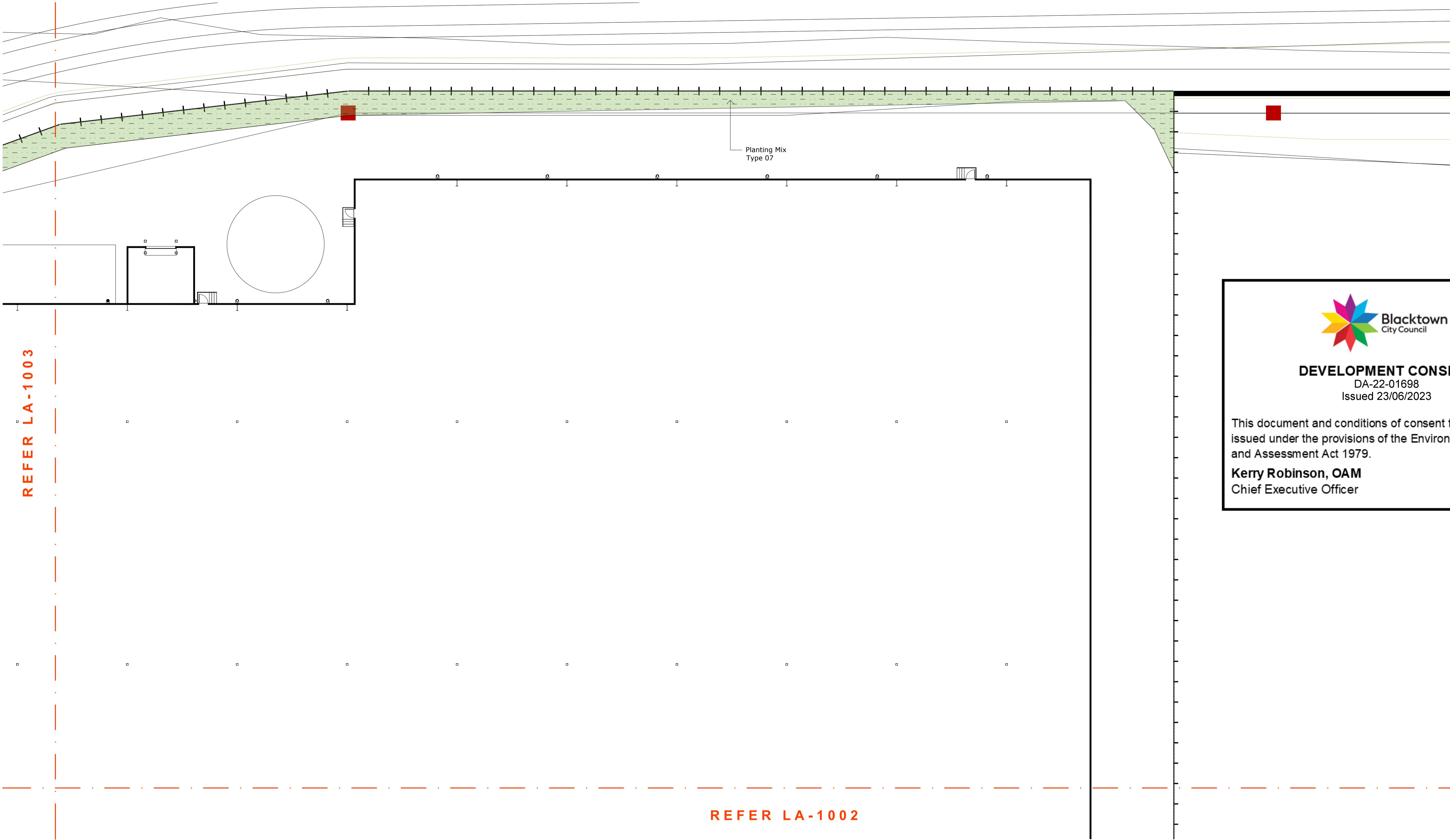
CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
LANDSCAPE PLAN

PROJECT
OLG
SYDNEY BUSINESS PARK



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DEVELOPMENT CONSENT
DA-22-01698
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Chief Executive Officer

LANDSCAPE PLAN
SCALE - 1:200

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PROJECT NO
2210

SCALE
1:200 @ A1



PROJECT TEAM
REID CAMPBELL

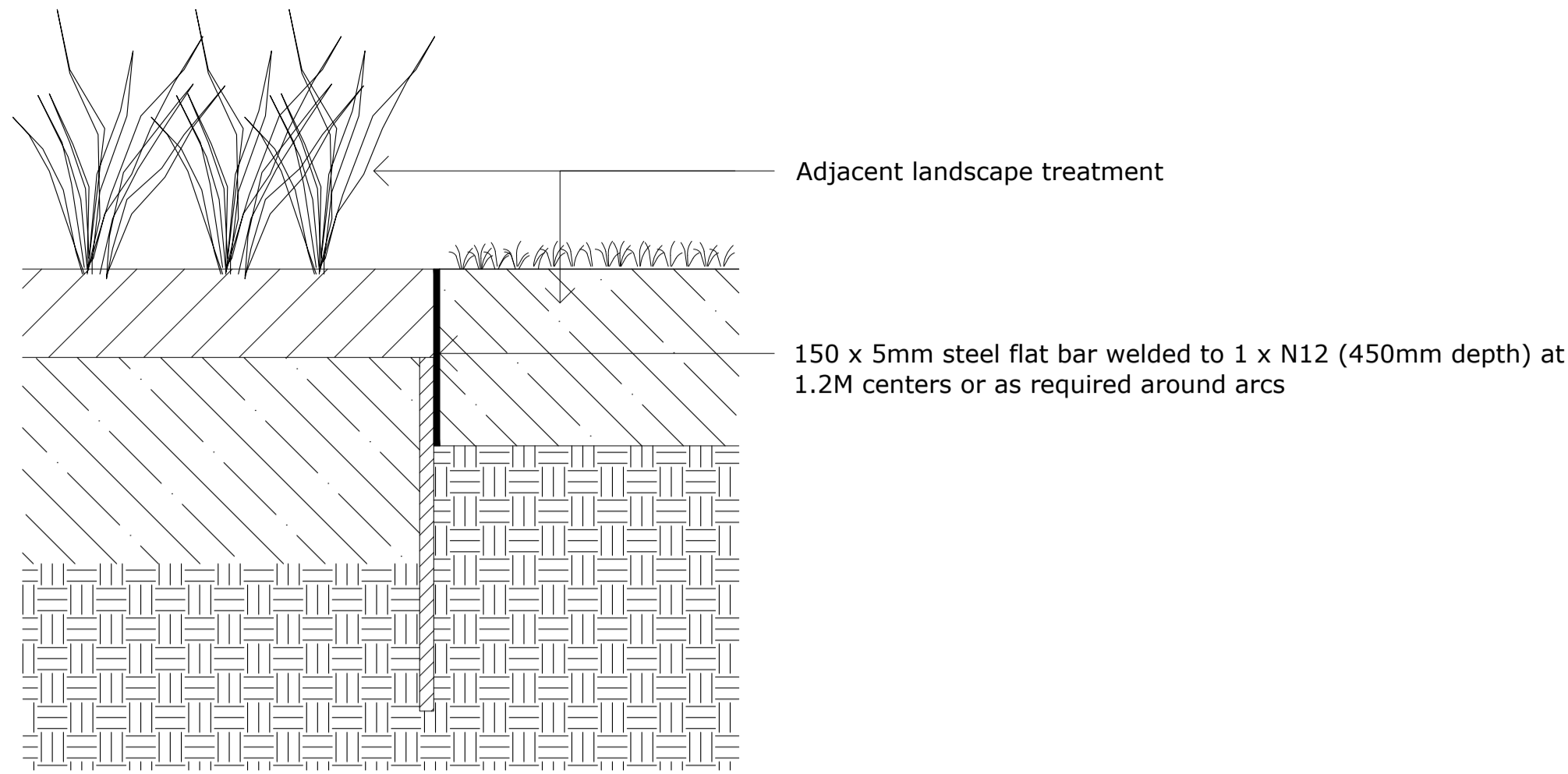
CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
LANDSCAPE PLAN

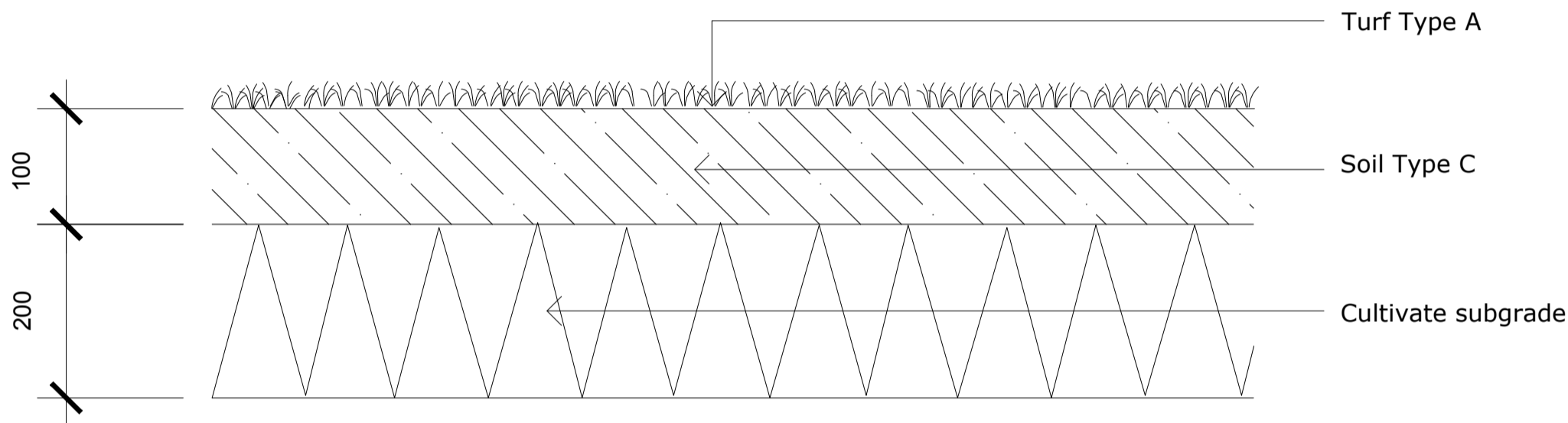
PROJECT
OLG
SYDNEY BUSINESS PARK



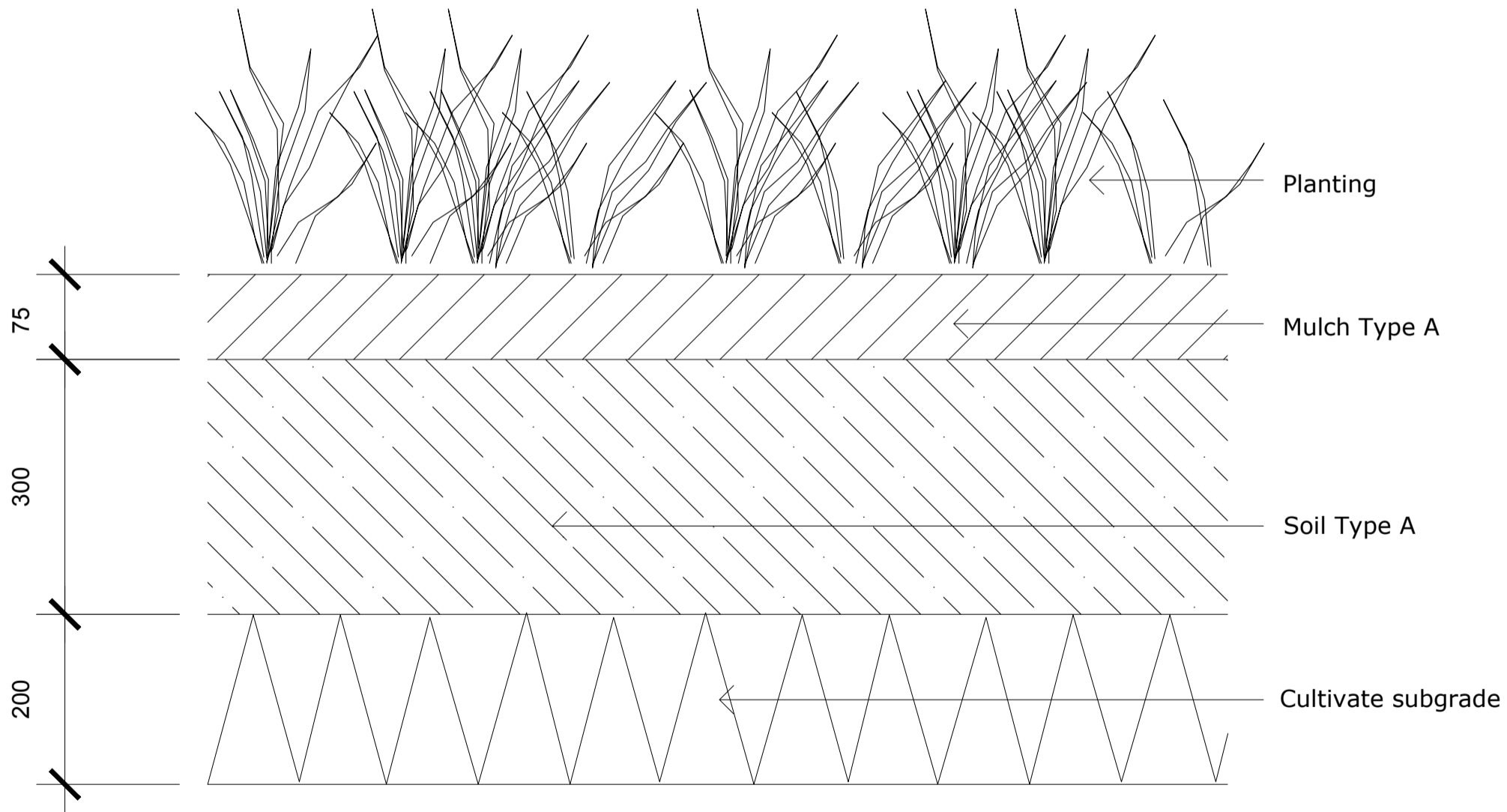
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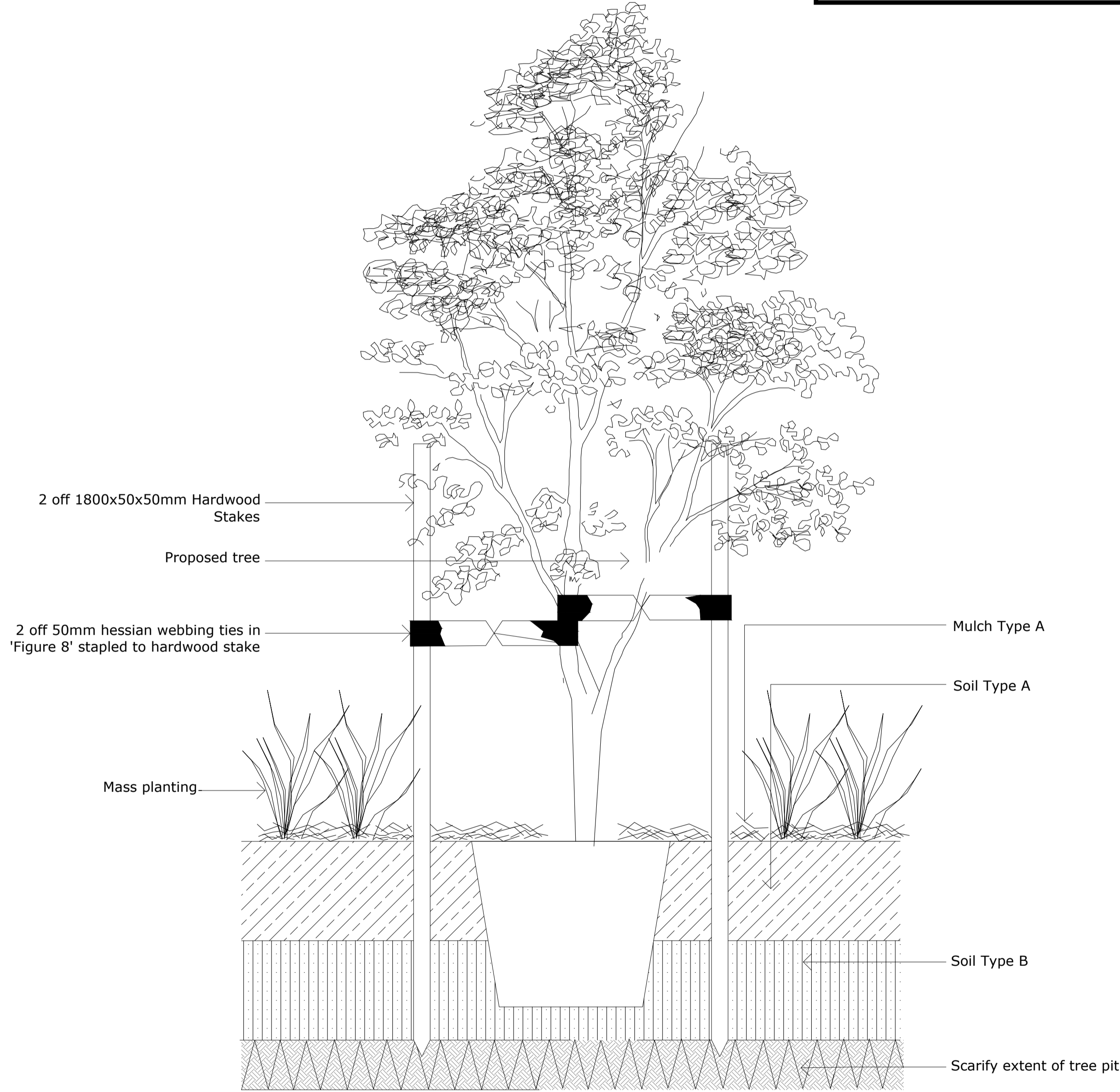
STEEL EDGE DETAIL (SE)
SCALE - 1:5



TURF DETAIL
SCALE - 1:5



MASS PLANTING DETAIL
SCALE - 1:5



TREE PIT DETAIL (IN MASS PLANTING)
SCALE - 1:10



DEVELOPMENT CONSENT
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PROJECT TEAM
REID CAMPBELL

CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
LANDSCAPE DETAILS

PROJECT
OLG
SYDNEY BUSINESS PARK

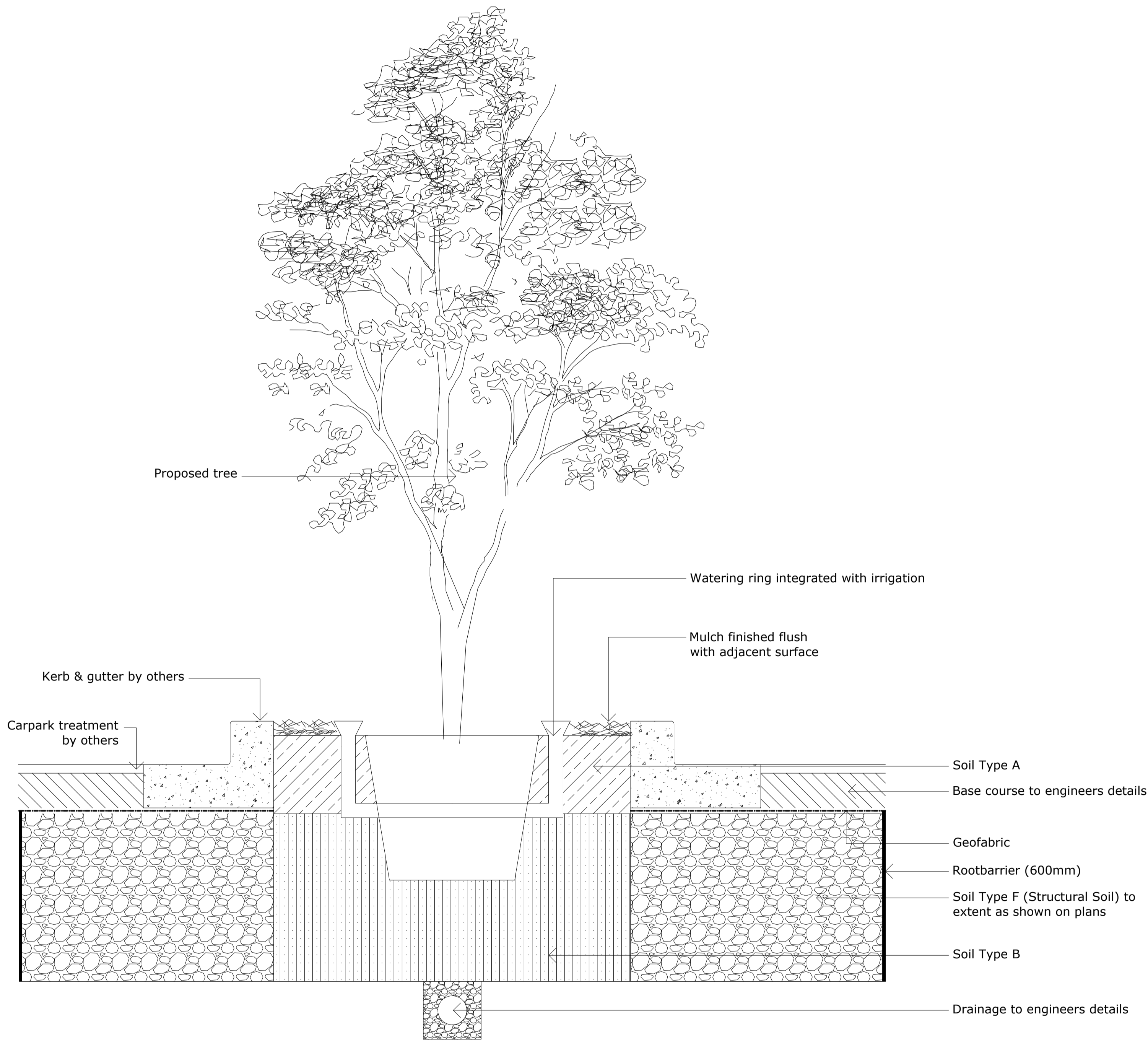


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DEVELOPMENT CONSENT
DA-22-01698
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Kerry Robinson, OAM
Chief Executive Officer



TREE PIT DETAIL (IN STRUCTURAL SOIL)
SCALE - 1:10

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PROJECT NO
2210

SCALE
1:10 @ A1

PROJECT TEAM
REID CAMPBELL

CLIENT
MARSDEN PARK DEVELOPMENTS

DRAWING TITLE
LANDSCAPE DETAILS

PROJECT
OLG
SYDNEY BUSINESS PARK



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